



Planning Commission Regular Meeting

Monday, August 25, 2025, 6:30 PM
106 Center Street

Members of the public may attend the Planning Commission meeting either in person or by joining via Zoom either online or by telephone at:

<https://us02web.zoom.us/j/84312484009?pwd=mpM6ftcmdoILEN0MLS6qw9ljCV7p3l.1>

Meeting ID: 843 1248 4009

Passcode: 070265

One tap mobile

+19292056099,,84312484009#,,,,*070265# US (New York)

+13017158592,,84312484009#,,,,*070265# US (Washington DC)

Some items on this agenda are important enough to City Councilmembers that a quorum of the Council may be present to receive information leading to their future deliberations and eventual decision.

AGENDA

1. Call to Order
2. Roll Call
3. Minutes of the Preceding Meeting(s)
 - A. Minutes
4. Discussion Items
 - A. Public Hearing, 262 Lake Street, Variance Application (PC No. 2025-08)
 - B. PC Resolution 2025-03 Approving Residential Review Permit for an addition at 243 Third Street
 - C. PC Resolution 2025-05 Approving Residential Review Permit for an addition at 210 George Street
 - D. Public Hearing, revisions to *Chapter 24 Signs*, of zoning ordinance - **Continued to September 22nd Planning Commission Meeting**
5. Communications and Reports
6. Miscellaneous
7. Adjournment

**City of Excelsior
Hennepin County, Minnesota**

**Planning Commission Meeting
Minutes
July 28, 2025**

1. CALL TO ORDER

2. ROLL CALL

Commissioners Present: Day, Hansen, Johnson, Malsam, Muenzberg, Neale

Commissioners Absent: Tyler

Also Present: Community Development Director Julia Mullin

3. MINUTES OF THE PRECEDING MEETING(S)

(a) Planning Commission Meeting, June 23, 2025

(b) Planning Commission Special Meeting, July 7, 2025

(c) Planning Commission Special Meeting, July 14, 2025

Malsam moved to approve three sets of minutes. Neale seconded. Approved 6-0.

4. DISCUSSION ITEMS

(a) Public Hearing, 210 George Street, Residential Review Permit and Variance (PC No. 25-07) – continued from June 23, 2025, meeting

Chair Muenzberg continued the public hearing from the June Planning Commission meeting. No one from the public spoke. Neale moved to approve the Residential Review Permit with findings in the staff report and the condition that the city engineer review the stormwater plan. Malsam seconded. Approved 6-0. Neale moved to recommend approval of the side yard setback and building coverage variances. Hansen seconded. Approved 6-0.

(b) Resolution approving Residential Review Permit, 925 Excelsior Blvd. (PC No. 25-02)

Johnson moved to approve Resolution 2025-02 approving variance for shoreland setback and documenting Planning Commission decision made at June meeting. Malsam seconded. Approved 6-0.

(c) Public Hearing, Ordinance 685, correcting Sec. 50 of the Zoning Ordinance

Chair Muenzberg opened the public hearing. No one from the public spoke. Neale moved to recommend approval of Ordinance 658 correcting Sec. 50 of the Zoning Ordinance to add back design standards language. Johnson seconded. Approved 6-0.

5. COMMUNICATIONS AND REPORTS

(a) 10 Water Street Preliminary Plan PUD outcome

6. MISCELLANEOUS

7. ADJOURNMENT

Day moved to adjourn the meeting. Johnson seconded. Approved 6-0. Meeting adjourned at 7:20 pm.

Respectfully submitted,

Julia Mullin
Community Development Director

2025 Planning Commission Attendance – Page 1

Meeting	Jan 27	Feb 24	Mar 24	Apr 28	Apr 30	May 13	May 20	June 4	Jun 23	Jul 7
	Canceled			Canceled	Special Mtg	Special Mtg	Canceled	Special Mtg		Special Mtg
Day	X	P	P	X	A	P	X	P	P	P
Hansen	X	X	P	X	A	A	X	P	P	P
Johnson	X	P	P	X	P	P	X	P	P	P
Malsam	X	X	P	X	P	P	X	P	P	P
Muenzberg	X	A	P	X	P	P	X	P	P	P
Neale	X	P	P	X	P	A	X	P	P	P
Tyler	X	P	P	X	P	P	X	P	P	P

2025 PC ATTENDANCE CONTINUED – Page 2

Meeting	Jul 14	Jul 28	Aug 25	Sep 22	Oct 27	Nov 24	Dec 22
	Special Mtg						
Day	P	P					
Hansen	A	P					
Johnson	P	P					
Malsam	P	P					
Muenzberg	P	P					
Neale	P	P					
Tyler	P	A					

Agenda
Planning Commission Meeting
Monday, July 28, 2025
Page 2

P – Present

A – Absent but gave prior notice

U – Absent without notice

SM – Special Meeting

X – Not applicable (cancelled meeting or not on PC)



Item: 4.A.

ITEM REPORT

To: Planning Commission

From: Julia Mullin, Community Development Director

Meeting Date: August 25, 2025

Department/Office: Community Development

Item Name: Public Hearing, 262 Lake Street, Variance Application (PC No. 2025-08)

Summary:

APPLICANT	Troy Mathwig, 262 Lake Street, Excelsior, MN 55331
PROPERTY OWNER	Same
LOCATION	262 Lake Street
CASE NO.	PC No. 25-08
60/120 DAY REVIEW DEADLINE	October 3, 2025/December 2, 2025

BACKGROUND

The applicant is requesting a Variance from the building height requirement for construction of an attached garage at 262 Lake Street. The property is a Historic Landmark and the Heritage Preservation Commission (HPC) considered a Site Alteration Permit application for the project. The HPC approved the proposed renovation of the existing home and the construction of an attached two-story garage addition in September 2024 (documented in HPC Resolutions 2024-16 and 2024-21). A building permit was issued in December 2024, and work began. The city received multiple complaints that the attached garage is taller than what was approved; staff investigated, stopped work on the property on June 24, 2025, and it was determined that the garage as built is taller than what is permitted by ordinance (*Section 41-4 Building height in the residential zoning districts*).

DETAILS/ANALYSIS

The HPC reviewed the structure as built at their Special Meeting on July 9, 2025, and found that the structure as built conforms with the Preservation Design Guidelines and is consistent with the plans approved. They noted that if the actual height measurement is greater than what's permitted in the zoning ordinance, that is not within the purview of the HPC. They referred the question back to staff and the Planning Commission as a zoning conformance question. Staff determined that the structure as built is 29' tall, measured from the lowest elevation on the parcel between the structure and the property line (*Sec. 14-1,2*), 1' greater than what is permitted by Code. In the R2 district, maximum building height is 28' (*Sec. 41-4*). Staff informed the applicant that the stop

work order on the garage would remain in place (the stop work order related to the front porch was lifted after the July 9th HPC Special Meeting) and a variance application is needed. As a result, the applicant has submitted an “after the fact” variance application.

When the HPC approved the plans in September 2024, the plans included a stated garage height dimension of 24’8”. The plans then submitted with the building permit included elevations that showed 24’8” and structural plans that showed garage height at 26’10”. (Plans are attached to this staff report.) At the time the building permit was issued, because the proposed height had been approved by the HPC and was well below the 28’ maximum allowed by zoning ordinance, staff did not calculate the height, as required by code, from the lowest elevation on the parcel.

Section 14-1 Building height states:

(1) Building height is the vertical distance measured from the lowest grade to the highest point of the building excluding chimneys and other building accessories as specified in subsection 14-1(b).

(2) The lowest grade shall mean the lowest point of elevation of the existing grade (or finished grade, if the finished grade is lower than the existing grade) within the area between the building and the property line, or when the property line is more than seven feet from the building, between the building or proposed building and a line seven feet from the building.

(3) Grade shall not be modified as a means of achieving increased building height.

As constructed, the garage measures 26’ from the grade at the garage (elevation 961’) to the peak of the garage roof (elevation 987’). The lowest elevation on the parcel within the area between the building and the property line is 958’ (at the front right corner of the parcel). Taken from this point, the height of the garage is 29’. (A survey with building heights is attached to this memo.)

Applicant

The applicant has stated that the plans were scaled for a residential unit to fit over the garage. They understood that the maximum height permitted is 28’ and were unaware that the height measurement must be taken from the lowest elevation on the parcel. They designed the garage with a roof pitch to match that of the gables on the house.

Attachments

Attached to the staff report is the applicant’s narrative (in email form), architectural and structural plans, and a survey with building heights identified. Here is a link to the HPC staff report from their July 9th Special Meeting that provides additional background information: [HPC staff report July 9, 2025](#)

VARIANCE ANALYSIS

The Applicant is requesting a Variance of 1’ from the maximum height permitted for the attached garage. (Sec. 41-4).

Variance Review Criteria

The Excelsior Zoning Code, per MN Statute, requires that a variance request be evaluated according to the following criteria:

1. Is the property owner proposing to use the property in a reasonable manner not permitted by the ordinance?

The HPC approved a Site Alteration Permit for the renovation of this Landmark structure that included the removal of an existing detached garage and the addition of an attached two-story garage with living space on the second level. The proposed renovation of this deteriorated structure is a reasonable use and the replacement of a detached garage with an attached garage, was found to be consistent with the Preservation Design Guidelines, which govern renovation of historic properties in Excelsior.

2. Is the plight of the property owner due to circumstances unique to the property that have not been created by the landowner?

The attached garage was proposed at 24'8" on the architectural plans and 26'10" on the structural plans. The applicant should have reconciled these differences when they submitted for building permit. Staff and the applicant should have calculated the height from the lowest elevation on the parcel as required by ordinance, however, the plans were reviewed by the HPC and once approved staff did not calculate the height of the garage from the lowest elevation, rather accepted the submitted height which was measured from existing grade at the garage. The applicant has explained that they tried to match the roof pitch of the existing home, and the HPC has found that the garage meets the Preservation Design Guidelines – the garage is less tall than the home and is not visible from the front of the home.

3. Will the variance, if granted, alter the essential character of the area?

The new attached garage is located behind the home and not visible from the front of the house. Originally there was a detached garage on the parcel, but it was one level and located in the back corner of the parcel. The new attached garage is impactful on the neighboring properties, particularly the property to the south. This impact would still be felt if the garage were 1' shorter. The new home to the north, currently under construction, also originally had a detached garage that is now being replaced with an attached garage. The character of homes on this block has been changing with larger homes that include attached garages being built.

4. If a variance is granted, will the outcome be (a) in harmony with the purpose and intent of the ordinance, and (b) consistent with the Comprehensive Plan.

The proposal meets the following Goal of the Comprehensive Plan for Residential Areas. City policy supports the enhancement of housing and residential neighborhoods. Goal: Maintain the Community's image and desirability as a great place to live and raise a family by preserving and enhancing the quality, character, safety and appeal of

residential neighborhoods and developments, and providing diversity in its housing stock and unit types. The project preserves and enhances an original home; however, the addition of the attached garage contributes to a change in character of the block.

Building height variance: The intent of the building height standard is to reduce the impact of structures on neighboring properties and to ensure new construction is compatible with the mass and scale of existing original homes in Excelsior. The attached garage was approved as part of a Site Alteration Permit by the HPC. The project is restoring an historic home and the HPC found that the addition of an attached garage was compatible with the Preservation Design Guidelines. The intent of the ordinance is for building height to be measured as directed; staff and applicants must be attentive to height measurement, to consistency in submitted plans, and conformance during construction with approved plans.

Public Hearing

As required by City Ordinance Appendix E, Section 6-6 – Procedures Variances, the Planning Commission shall conduct a duly noticed public hearing on the Variance application at their regularly scheduled meeting on Monday, August 25, 2025.

Recommended Conditions of Approval.

Staff recommends the following conditions with any approval of this Residential Review Permit and Variance applications.

1. The applicant shall obtain all necessary City, watershed district, and other government entity permits and approvals including but not limited to building permits, grading and erosion control plans, etc.
2. The plans shall be consistent with the plans included in the Planning Commission packet dated August 25, 2025.
3. The Variance application shall expire one year from the date of adoption of the resolution if not acted upon.

Recommended Action:

The Planning Commission shall open the public hearing for the Variance application. The Planning Commission shall recommend approval or denial of the Variance application for the height of the new attached garage at 262 Lake Street. Staff recommends that the Variance application be recommended to the City Council for approval based on the findings in the staff report.

Budget:

Attachments:

1. 262 Variance Application
2. Kalorama Cottage Remodel Arch_PERMIT_12-6-24_Rev1
3. survey with heights



City of Excelsior
350 Highway 7, Ste 230 • Excelsior, MN 55331
(952) 653-3674

Land Use Review Application

APPLICANT INFORMATION		
Name: <u>Troy Mathwig</u>	Business Name:	
Address: <u>262 Lake St</u>		
City: <u>Excelsior</u>	State: <u>MN</u>	Zip Code: <u>55331</u>
Telephone:	E-Mail: <u>troy@4125llc.com</u>	
OWNER INFORMATION (if different)		
Name:	Business Name:	
Address:		
City:	State:	Zip Code:
Telephone:	E-Mail:	

TYPE OF APPLICATION (check all that apply)		
☐ Comprehensive Plan Amend	☐ Design Standards	☐ Subdivision
☐ Rezoning	☐ Sketch Plan Review	☐ Admin Subdivision
☐ PUD - Concept Plan	☐ Conditional Use Permit/IUP	☐ Preliminary Plat
☐ PUD - General Plan	☒ Variance	☐ Final Plat
☐ PUD - Final Plan	☐ Appeal of Zoning Decision	☐ Other _____

PROJECT INFORMATION	
Street Address: <u>262 Lake St</u>	Zoning District: <u>R-2</u>
Property Identification Number(s) (PIN #s): <u>34 117 23 11 0133</u>	
Legal Description (attach if necessary): <u>Lot 2, Seaman's Sub of Lot 7 & 8 Excelsior MN</u>	
Description of Proposal (attach additional information if needed): <u>Garage variance requested for height, see attached for explanation</u>	
Reason(s) to Approve Request (attach additional information if needed): <u>See Attached</u>	

APPLICANT'S STATEMENT

This application should be processed in my name. I have completed all of the applicable filing requirements and, to the best of my knowledge, the documents and information I have submitted are true and correct. I agree to reimburse the City of Excelsior for the costs of professional Engineers and other Consultants hired by the City to review and inspect this proposal when the City is unable to do so with existing in house staff.

Signature: _____

Date: 7-23-25

OWNER'S STATEMENT

I am the owner of the above described property and I agree to this application.

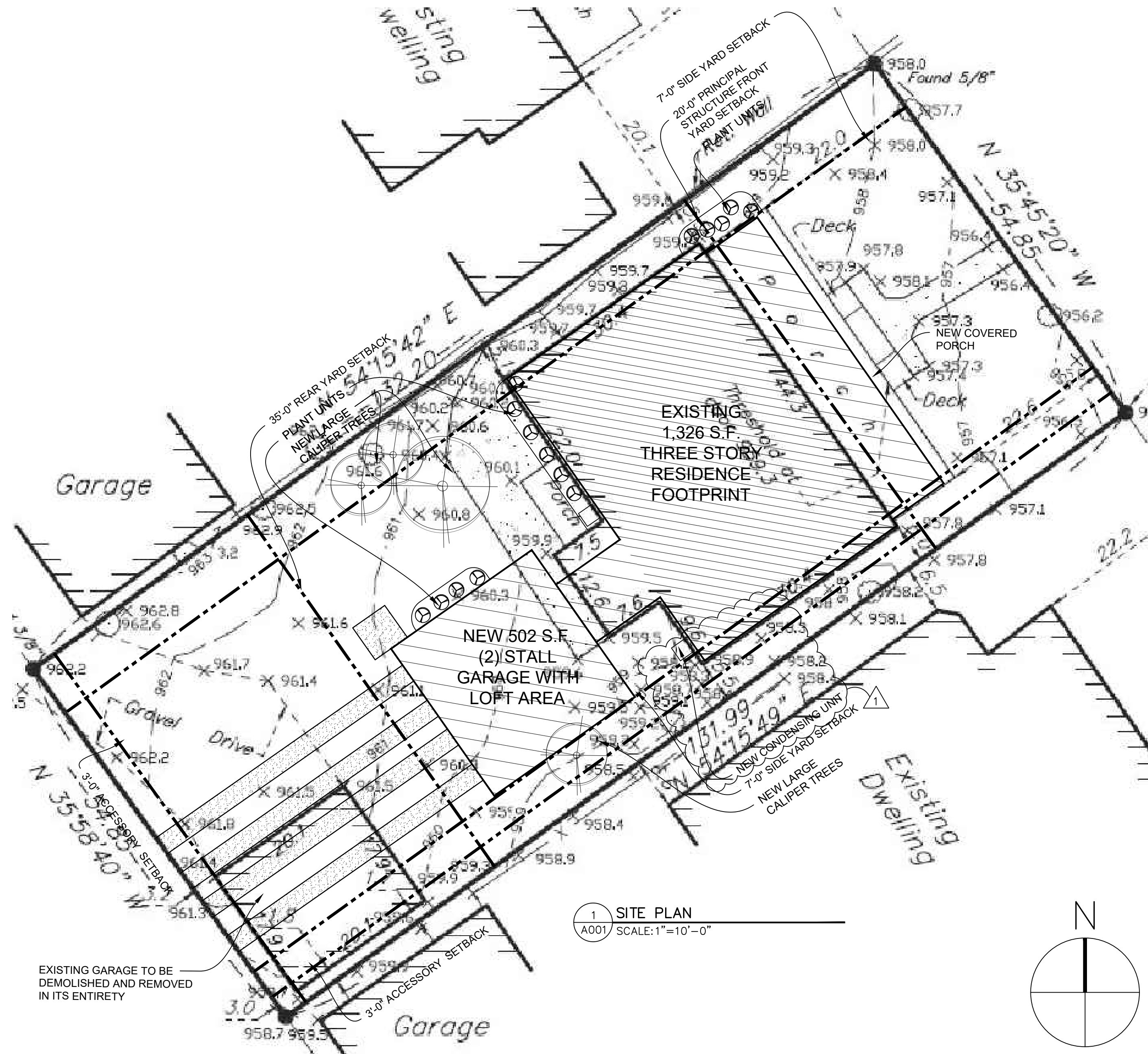
Signature: _____

Date: 7-23-25

Please see the attached checklist(s) for a list of plans and other information that must be submitted with this application and for other important information. The checklist must be submitted with the application and the required submittals.

KALORAMA COTTAGE ADDITION & REMODEL

EXCELSIOR, MINNESOTA



EXISTING FRONT ELEVATION



EXISTING REAR ELEVATION



EXISTING LEFT SIDE ELEVATION (RIGHT SIDE SIMILAR)



EXISTING GARAGE

SHEET INDEX

- ARCHITECTURAL
A001 COVER SHEET, SHEET INDEX, SITE PLAN,
ZONING INFORMATION, DEMO INFO
A091 DEMO PLANS, DEMO NOTES
A092 BASEMENT LEVEL PLAN
A101 FIRST FLOOR & ADU PLAN, WALL TYPES
A102 SECOND FLOOR & ATTIC PLAN
A201 EXTERIOR ELEVATIONS
A202 EXTERIOR ELEVATIONS
A203 EXTERIOR ELEVATIONS, WINDOW & DOOR
SCHEDULE
A501 BUILDING SECTIONS, WALL SECTION

PROPERTY INFORMATION

262 LAKE STREET EXCELSIOR, MN 55331
PID: 3411723110133

LOT 002, SEAMANS SUBDIVISION 7 AND 8,
HENNEPIN COUNTY, EXCELSIOR, MN 55331
ZONED - R-2 SINGLE AND TWO FAMILY
LOT AREA - 7,262 SF (.17 ACRES)

LOT REQUIREMENTS (ARTICLE 41-1)

SETBACKS:
-FRONT YARD 20'-0"
-INTERIOR SIDE YARD 7'-0"
-REAR YARD 35'-0"

MAXIMUM HEIGHT = 2.5 STORIES, 28 FEET
(ACCESSORY MAX HEIGHT 16'-0")

MAX. LOT COVERAGE: 12% OF LOT AREA + 2,100 S.F. =
MAX. ALLOWED = 2,971.44 SF
ACTUAL = :

HOUSE = 1,326 SF
DECK = 374 SF
GARAGE AND BREEZEWAY = 583 SF
DRIVEWAY = 384 SF
CONCRETE WALKWAYS = 25 SF
TOTAL = 3,300 SF = 45%

DEMOLITION NOTES

- EXISTING DILAPIDATED FRONT PORCH AND ALL ASSOCIATED TO BE REMOVED IN ITS ENTIRETY -SEE SHEET A201/A202 FOR NEW PORCH ELEVATION AND DETAIL
- REMOVE EXISTING WINDOWS IN THEIR ENTIRETY AND PROVIDE REPLACEMENT WINDOWS APPROVED BY HPC OF SIMILAR SIZE AND STYLE UNLESS NOTED OTHERWISE
- REMOVE EXISTING WINDOW IN ITS ENTIRETY AND PROVIDE REPLACEMENT WINDOW APPROVED BY HPC, INFILL EXCESS OPENING AS REQ'D TO ACCOMMODATE NEW CONSTRUCTION.
- REMOVE EXISTING DOOR AND ALL ASSOCIATED IN ITS ENTIRETY AND INFILL.
- REMOVE EXISTING DILAPIDATED 2-STORY PORCH & ALL ASSOCIATED IN ITS ENTIRETY TO ACCOMMODATE NEW CONSTRUCTION -SEE SHEET A101/A102 FOR NEW PLANS
- WHERE NEW BREEZEWAY CONSTRUCTION OCCURS, EXISTING EXTERIOR WOOD SIDING TO BE RECLAIM AND USED TO REPLACE DETERIORATED, DAMAGED, AND INFILL SIDING
- REMOVE AND REPLACE EXISTING ROOF SHINGLES, ROOF VENTS, FLASHING AND ALL ASSOCIATED MATERIALS IN ENTIRETY; PATCH & REPAIR EXISTING DETERIORATED AND DAMAGE ROOF AREAS AS REQ'D TO ACCOMMODATE NEW CONSTRUCTION.
- ALL DETERIORATED EXISTING EXTERIOR WOOD SIDING, MILLWORK, BRACKETS, MOLDINGS, TRIM WORK, ETC. TO BE REMOVED AND REPAIRED OR REPLACED WITH RECLAIMED WOOD, OR HPC APPROVED MATERIALS. TREAT ALL REMAINING EXISTING WOOD SIDING, MILLWORK, BRACKETS, MOLDINGS, TRIM WORK, ETC. AS REQ'D TO BRING TO A FINAL APPEARANCE APPROVED BY HPC.
- REMOVE AND REPLACE EXISTING GUTTERS AS REQ'D TO ACCOMMODATE NEW CONSTRUCTION
- REMOVE EXISTING GARAGE BUILDING IN ITS ENTIRETY AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION
- REMOVE EXISTING MASONRY CHIMNEY AND ALL ASSOCIATED IN ITS ENTIRETY

NOTE:
CONTRACTOR'S SHALL COMPARE NEW WORK SHOWN ON DRAWINGS W/ EXISTING WORK TO THOROUGHLY ASCERTAIN EXTENT OF DEMOLITION & ALTERATION WORK REQUIRED. RESPECTIVE CONTRACTOR'S ARE RESPONSIBLE FOR ALL THEIR RESPECTIVE DEMOLITION WORK.

TIM STONE
ARCHITECTS

ATTN: TIMOTHY M. STONE
MAIL: 715 ELM STREET
ANOKA, MN 55303
PHONE : 701.541-9653
EMAIL: tstonearch@gmail.com

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I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATIONS OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.
TIMOTHY M. STONE
REG. NO.: 58280
DATE: 11-20-24

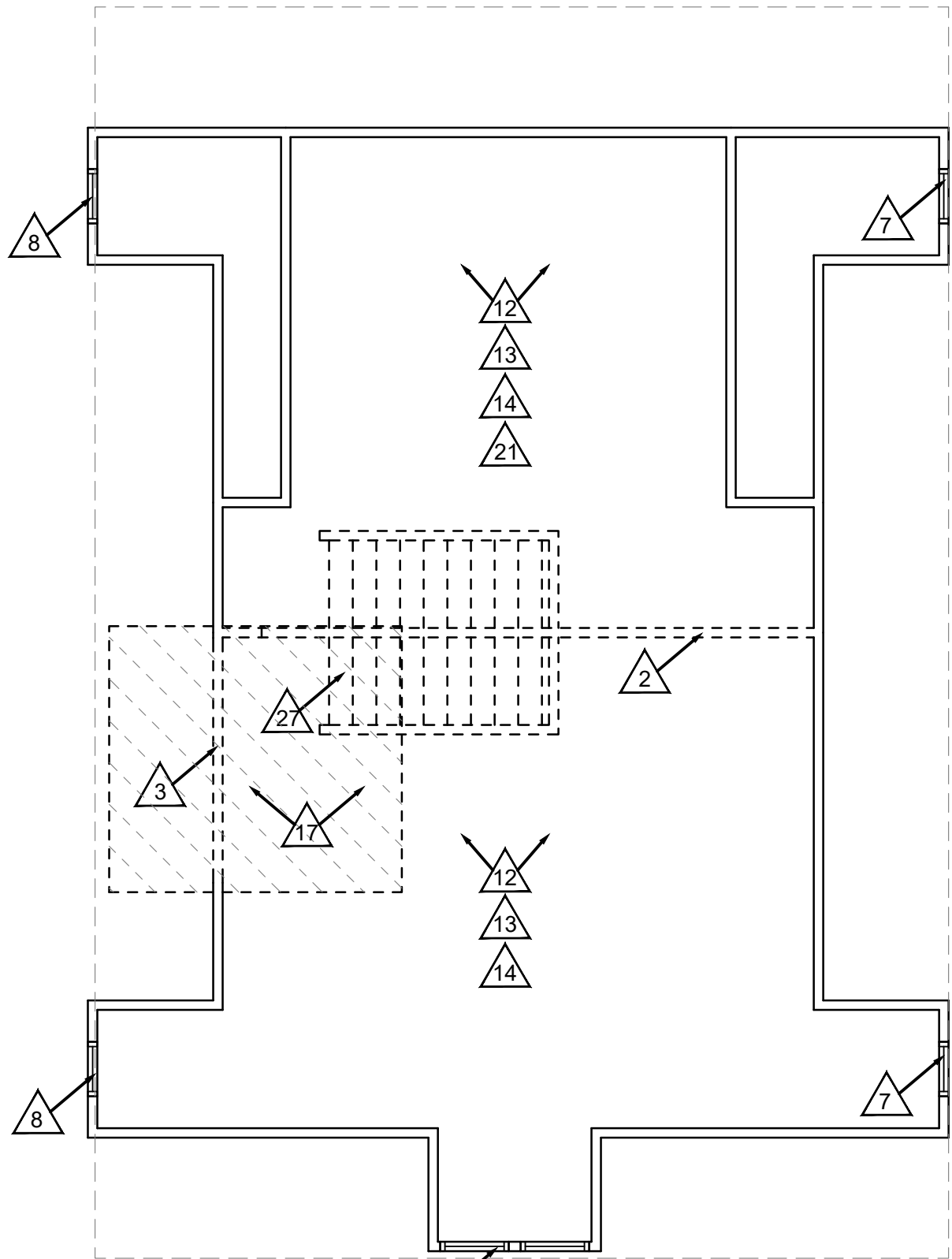
KALORAMA COTTAGE ADDITION
AND REMODEL
262 LAKE STREET EXCELSIOR, MN 55331

OWNER:
ATTN: TROY MATHWIG
MAIL: 262 LAKE STREET
EXCELSIOR, MN 55331
PHONE : 612-275-0808
EMAIL: troy@4125llc.com

SHEET INDEX, ZONING INFO
DEMO ELEVATIONS, DEMO
NOTES, SITE SURVEY

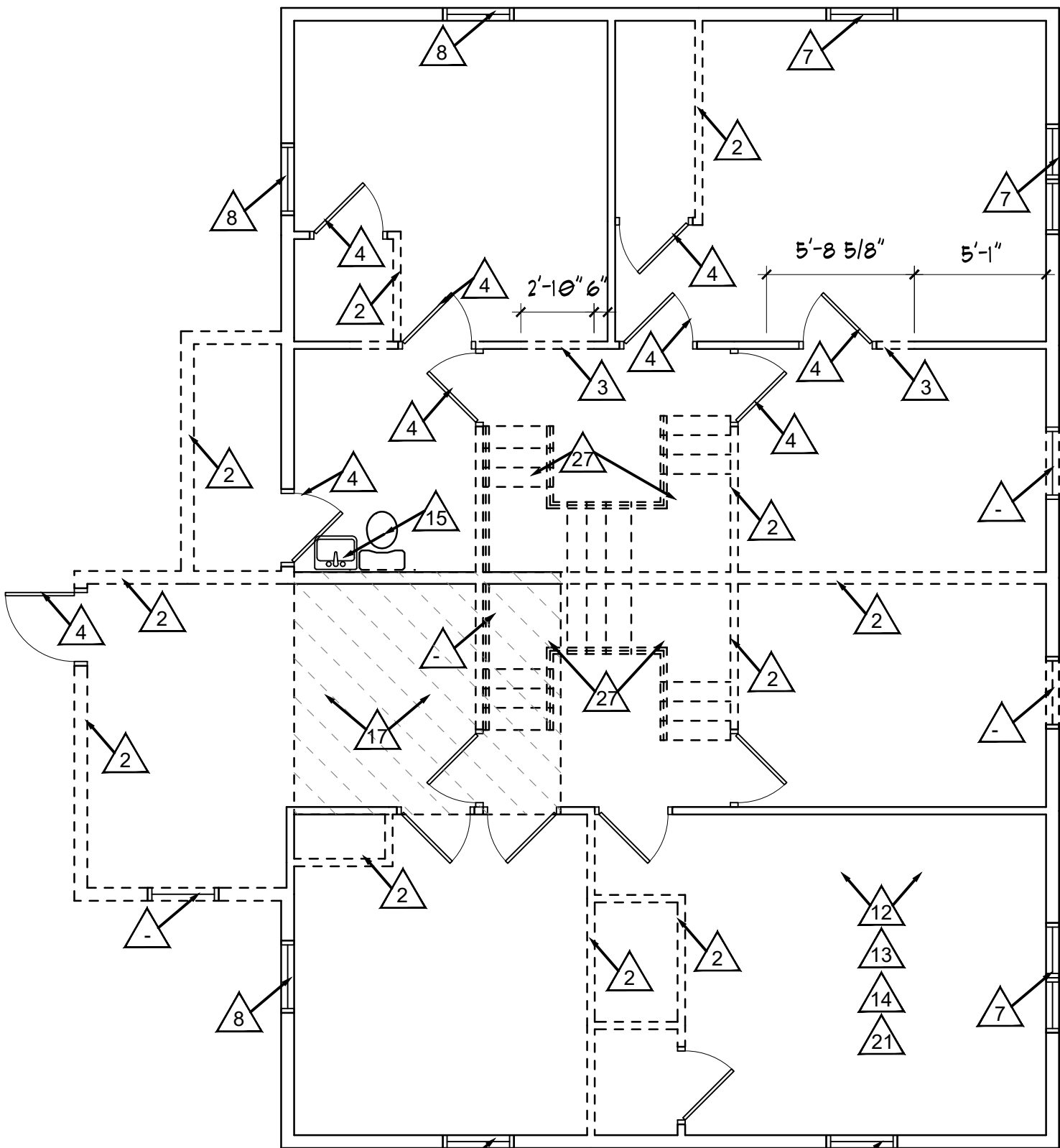
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Drawn By:
Checked By: TMS
Date: 11-20-24

Sheet No.
A001



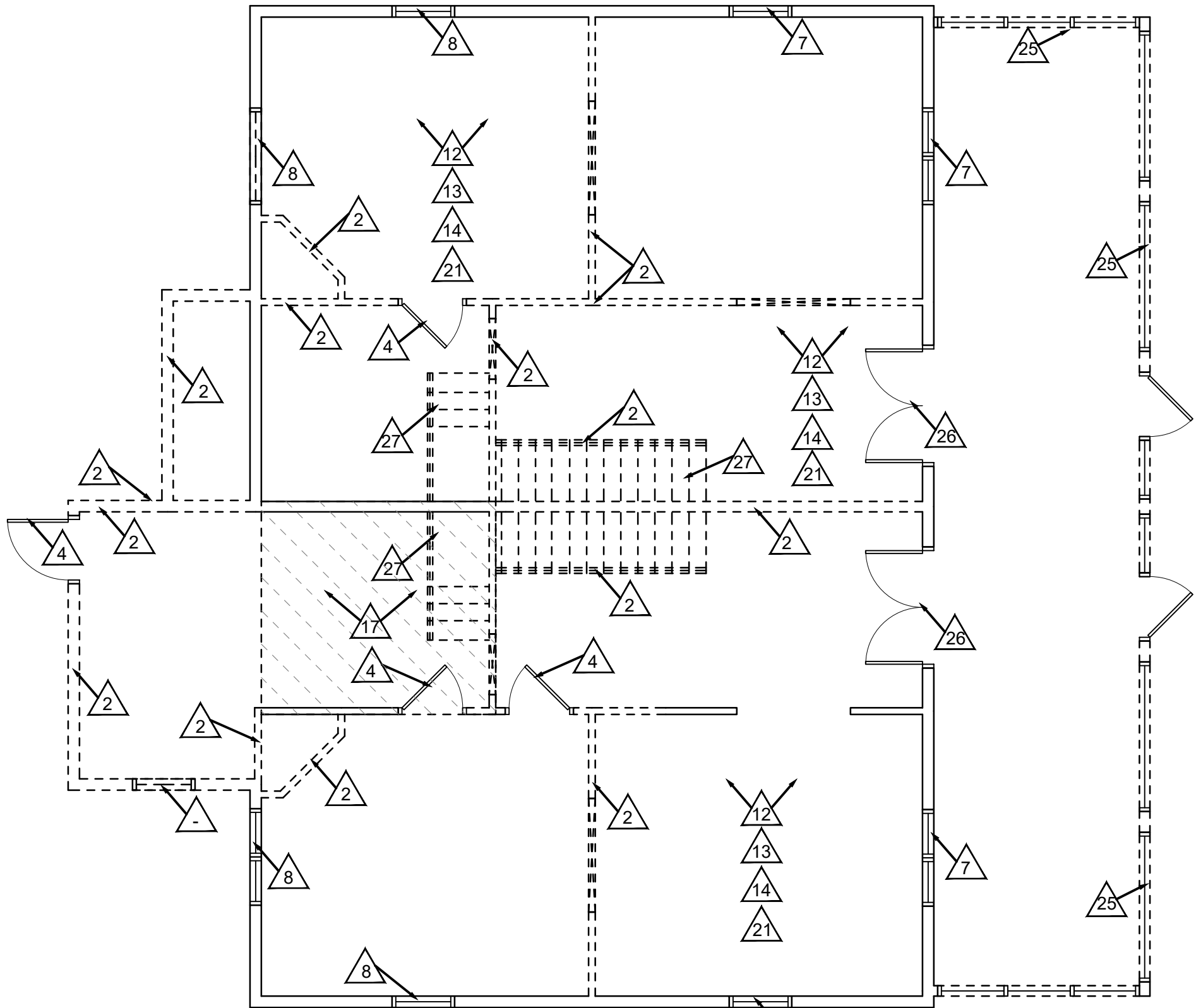
4 ATTIC LEVEL DEMO PLAN
SCALE: 3/16"=1'-0"

WALL KEY:
NEW WALL - - - - -
EXIST. WALL ———



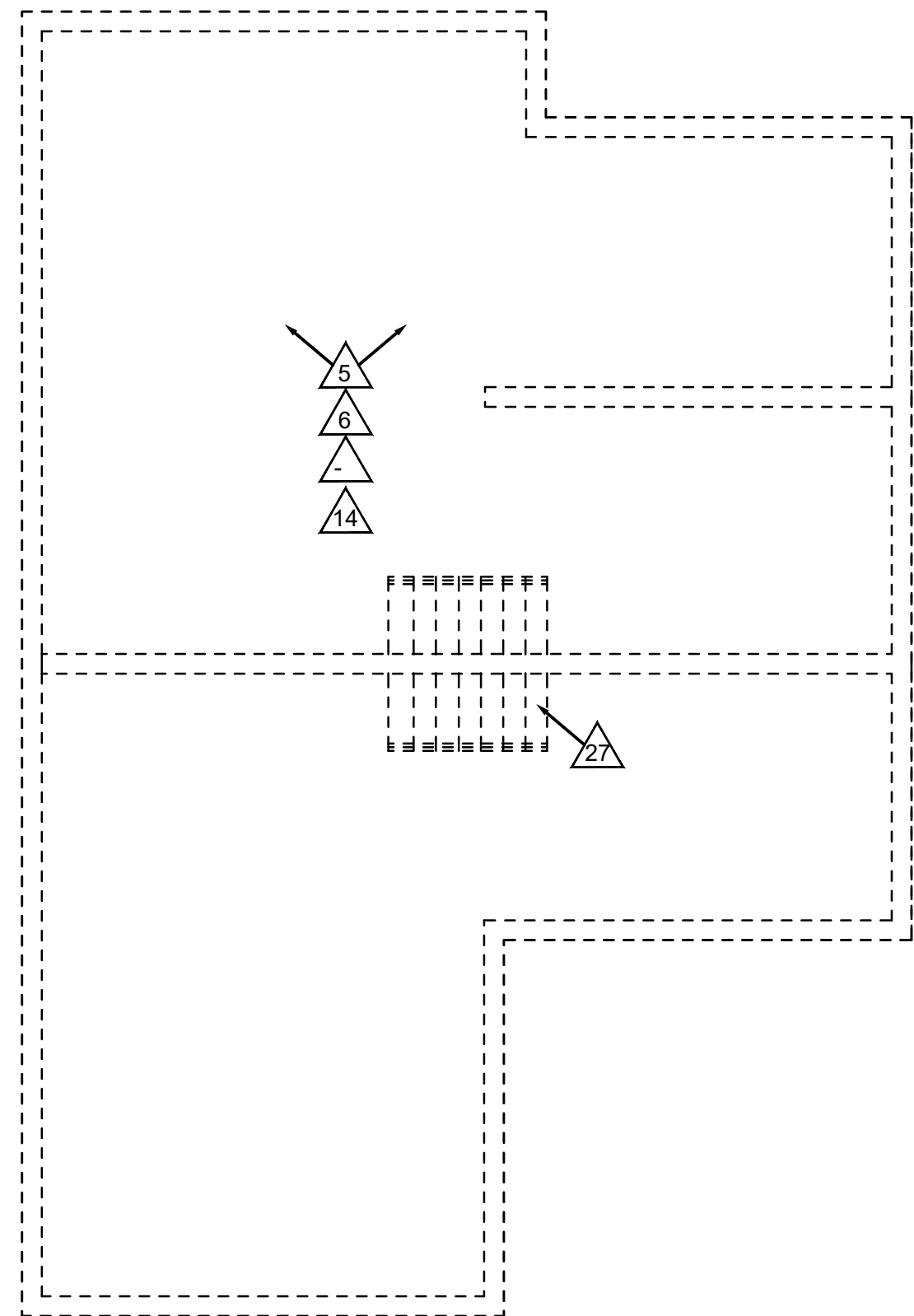
3 SECOND LEVEL DEMO PLAN
SCALE: 3/16"=1'-0"

WALL KEY:
NEW WALL - - - - -
EXIST. WALL ———



2 MAIN LEVEL DEMO PLAN
SCALE: 3/16"=1'-0"

WALL KEY:
NEW WALL - - - - -
EXIST. WALL ———



1 MAIN LEVEL DEMO PLAN
SCALE: 3/16"=1'-0"

WALL KEY:
NEW WALL - - - - -
EXIST. WALL ———

DEMOLITION NOTES

- REMOVE AND DISPOSE OF ALL DEBRIS AND TRASH.
- REMOVE EXISTING WOOD STUD & G.W.B. WALL ASSEMBLY AND ALL ASSOCIATED IN ITS ENTIRETY.
- REMOVE PORTION OF EXISTING STUD & G.W.B. ASSEMBLY AS REQ'D TO ACCOMMODATE NEW CONSTRUCTION
- REMOVE EXISTING DOOR, FRAME, AND ALL ASSOCIATED COMPONENTS IN ITS ENTIRETY.
- REMOVE EXISTING MASONRY FOUNDATION ASSEMBLY AS REQ'D IN ITS ENTIRETY TO ACCOMMODATE NEW CONSTRUCTION. -SEE STRUCTURAL
- REMOVE EXISTING CONC. SLAB AND FOOTING IN ITS ENTIRETY TO ACCOMMODATE NEW CONSTRUCTION. -SEE STRUCTURAL
- PREP WINDOW FOR RECLAIM PROCESS. REPAIR TRIM TO LIKE NEW FINISH
- REMOVE WINDOW ASSEMBLY IN ITS ENTIRETY AND PREP OPENING TO RECEIVE NEW REPLACEMENT WINDOW
- INFILL EXISTING OPENING AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.
- REMOVE EXISTING CASEWORK & ASSOCIATED MECH. & ELEC. ITEMS IN THEIR ENTIRETY.
- PREPARE EXISTING FLOOR & WALLS AS REQ'D TO RECEIVE NEW FINISH.
- PATCH & PREPARE EXISTING WALLS TO RECEIVE NEW PAINT FINISH. SKIM AS REQUIRED FOR SMOOTH FINISH (TYPICAL).
- MODIFY EXISTING MECH., DUCT WORK SUPPLY DIFFUSERS, RETURN AIR & EXHAUST FANS, FIRE / SMOKE, CO2 ALARMS ETC, AS REQ'D TO ACCOMMODATE NEW WORK (TYP.)
PATCH / CAP FLOOR / ROOF PENETRATIONS AS REQ'D
- REMOVE EXISTING PLUMBING FIXTURES & ASSOCIATED PIPING IN THEIR ENTIRETY. CAP PLUMBING, PATCH FLOOR / ROOF PENETRATIONS AS REQ'D. TYPICAL.
- REMOVE & RELOCATE EXISTING T-STAT AS REQ'D.
- REMOVE EXISTING WOOD FLOOR ASSEMBLY AND ALL ASSOCIATED AS REQ'D TO CREATE NEW STAIR OPENING
- REMOVE EXISTING DOOR, FRAME, AND ALL ASSOCIATED COMPONENTS IN ITS ENTIRETY. PREPARE OPENING FOR INFILL
- REMOVE EXISTING CEILING LIGHT FIXTURES IN THEIR ENTIRETY. VERIFY NEW LIGHT FIXTURE AND LIGHTING DESIGN WITH OWNER
- REMOVE EXISTING WATER HEATER AND ALL ASSOCIATED IN ITS ENTIRETY, PREP FOR NEW WATER HEATER
- PATCH & PREPARE EXISTING GYP. CEILING TO RECEIVE NEW PAINT FINISH. SKIM AS REQUIRED FOR SMOOTH FINISH (TYPICAL)
- RELOCATE ELECTRIC AND GAS METER'S AS REQ'D TO ACCOMMODATE NE CONSTRUCTION
- REMOVE EXISTING 2X FRAMING ABOVE AND ALL ASSOCIATED MATERIALS IN THEIR ENTIRETY
- PREP WALL CAVITY TO RECEIVE NEW R-21 INSUL.
- REMOVE EXISTING PORCH. PORCH FOUNDATION AND ALL ASSOCIATED IN ITS ENTIRETY.
- EXISTING DOOR TO BE PREPPED FOR RECLAIM PROCESS
- REMOVE EXISTING STAIR ASSEMBLY, HANDRAIL, AND ALL ASSOCIATED IN ITS ENTIRETY, AND INFILL FLOOR OPENING - SEE STRUCT.

TIM STONE ARCHITECTS

ATTN: TIMOTHY M. STONE
MAIL: 715 ELM STREET
ANOKA, MN 55303
PHONE : 701.541-9653
EMAIL: tstonearch@gmail.com

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I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATIONS, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.
Timothy M. Stone
DATE: 11-20-24 REG. NO.: 53280

KALORAMA COTTAGE ADDITION AND REMODEL

262 LAKE STREET EXCELSIOR, MN 55331

OWNER:
ATTN: TROY MATHWIG
MAIL: 262 LAKE STREET
EXCELSIOR, MN 55331
PHONE : 612-275-0808
EMAIL: troy@4129llc.com

DEMO PLAN'S,
DEMO NOTES

Project No.: 2435
Drawn By: TMS
Checked By: TMS
Date: 11-20-24

Sheet No.
A091

KALORAMA COTTAGE ADDITION
AND REMODEL
262 LAKE STREET EXCELSIOR, MN 55331

OWNER:
ATTN: TROY MATHWIG
MAIL: 262 LAKE STREET
EXCELSIOR, MN
55331
PHONE : 612-275-0808
EMAIL: troy@4125llc.com

BASEMENT PLAN,
NOTES

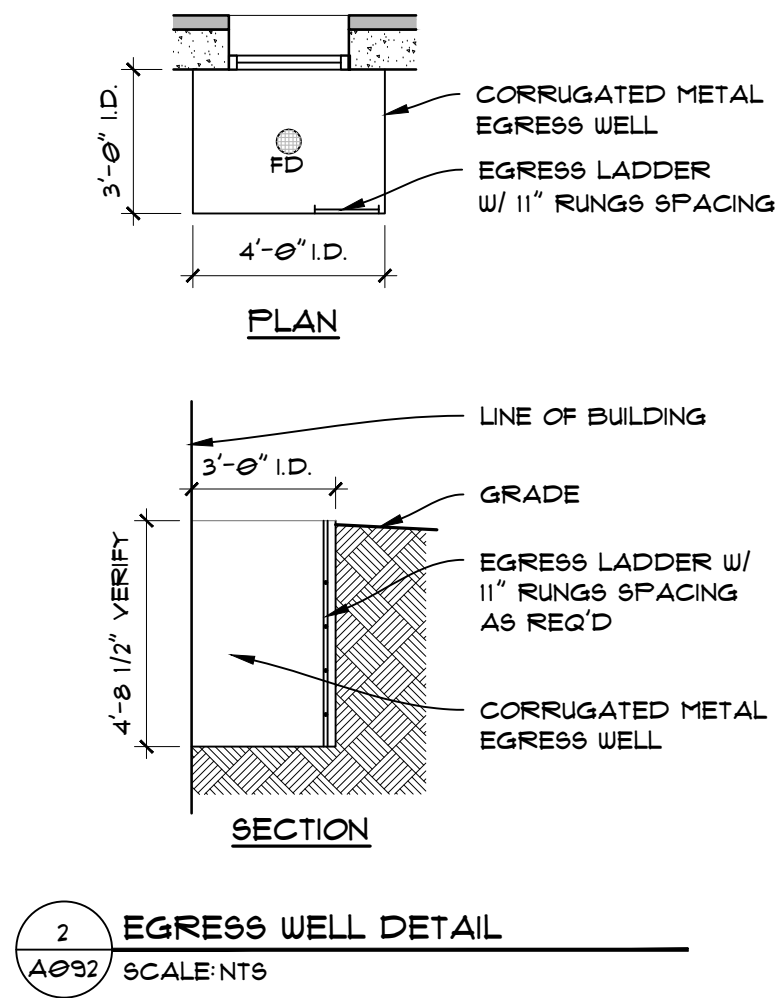
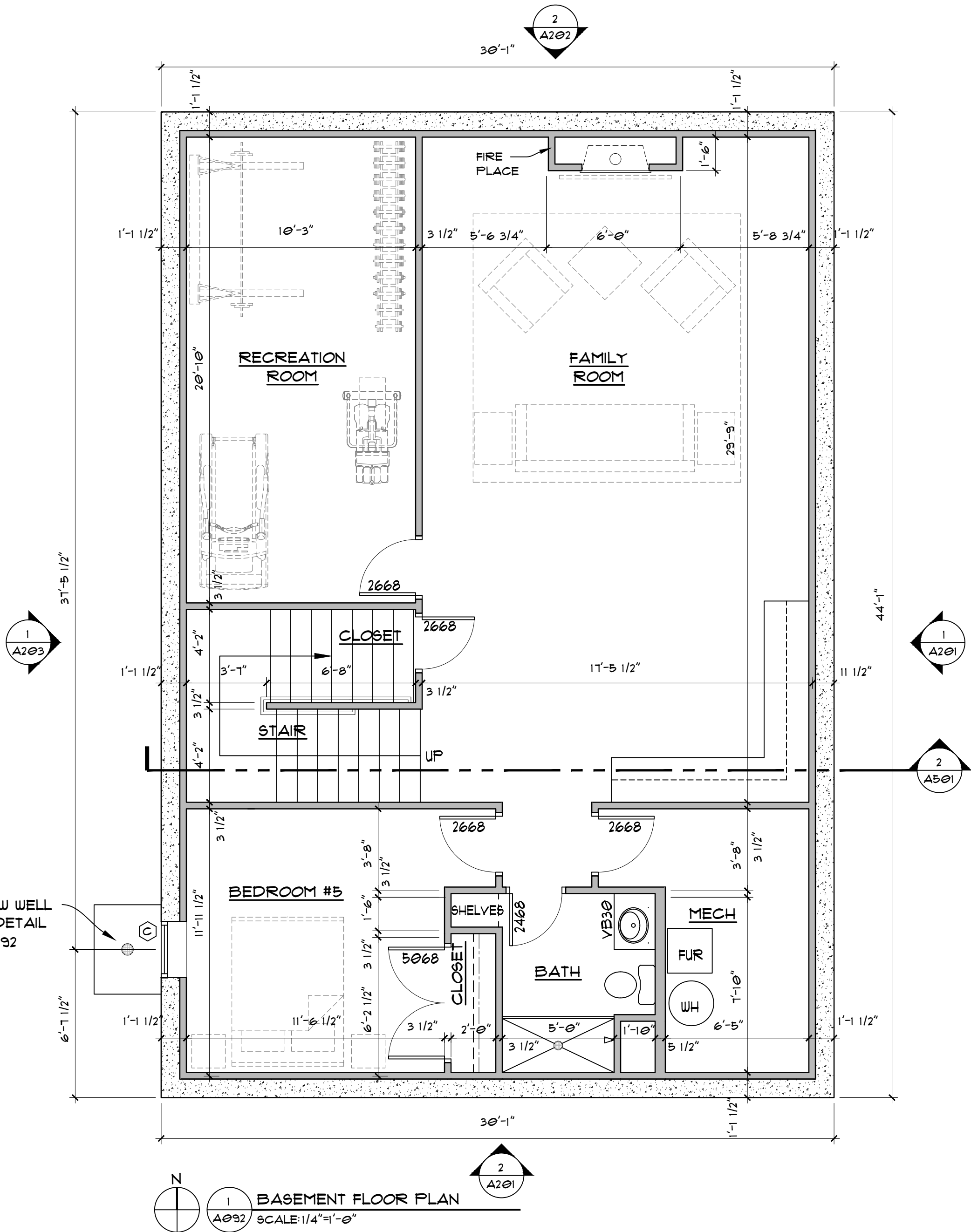
Project No.: 2435
Drawn By: TMS
Checked By: TMS
Date: 11-20-24

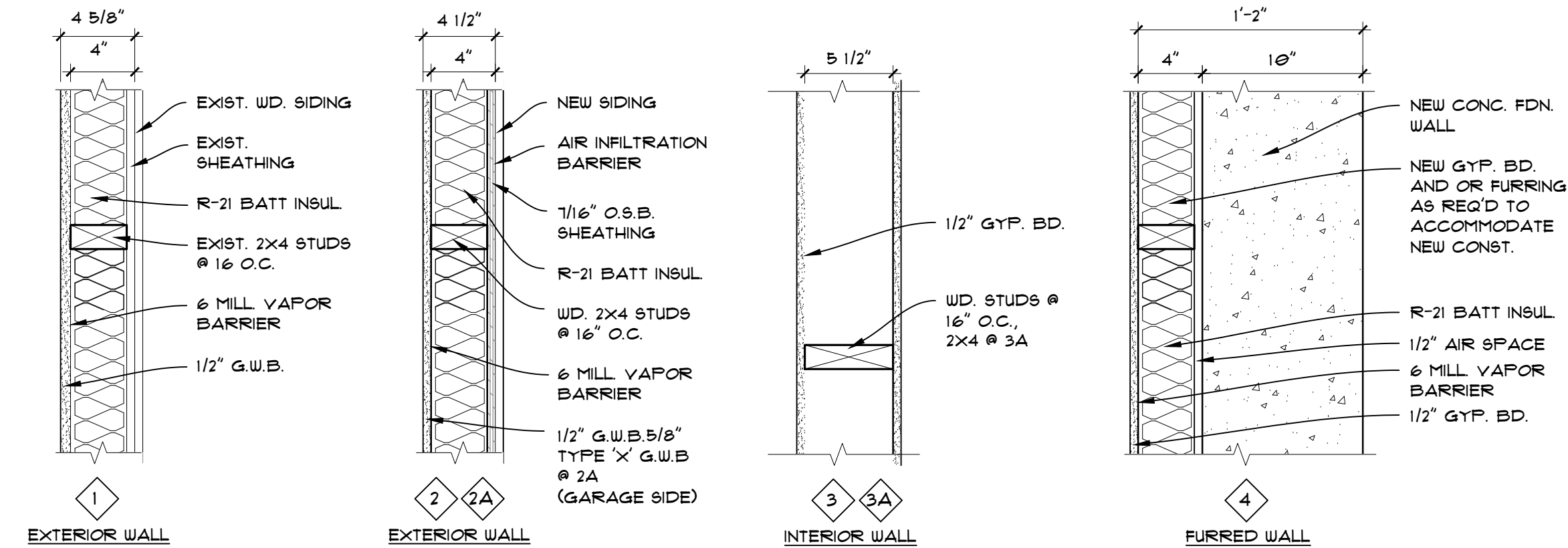
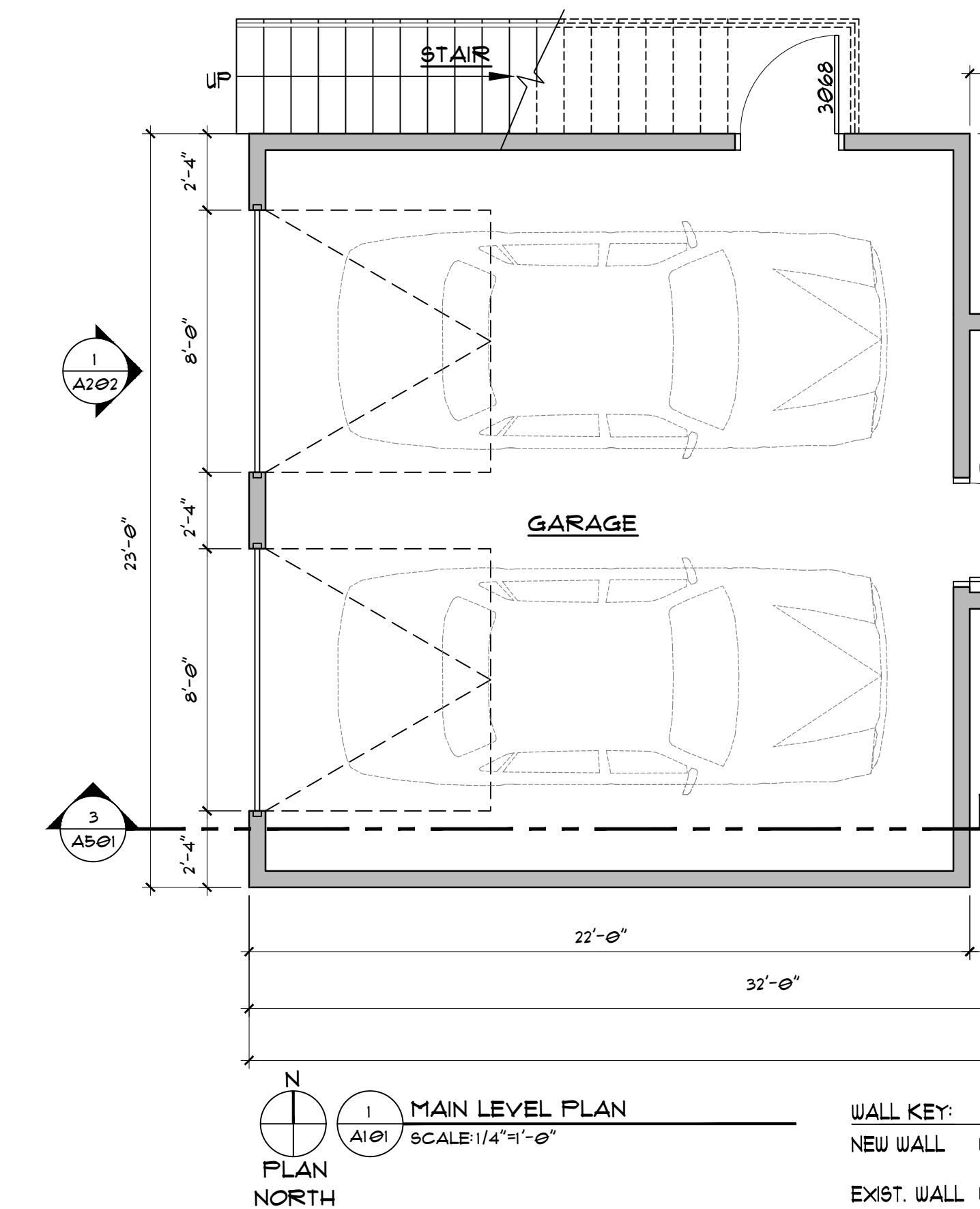
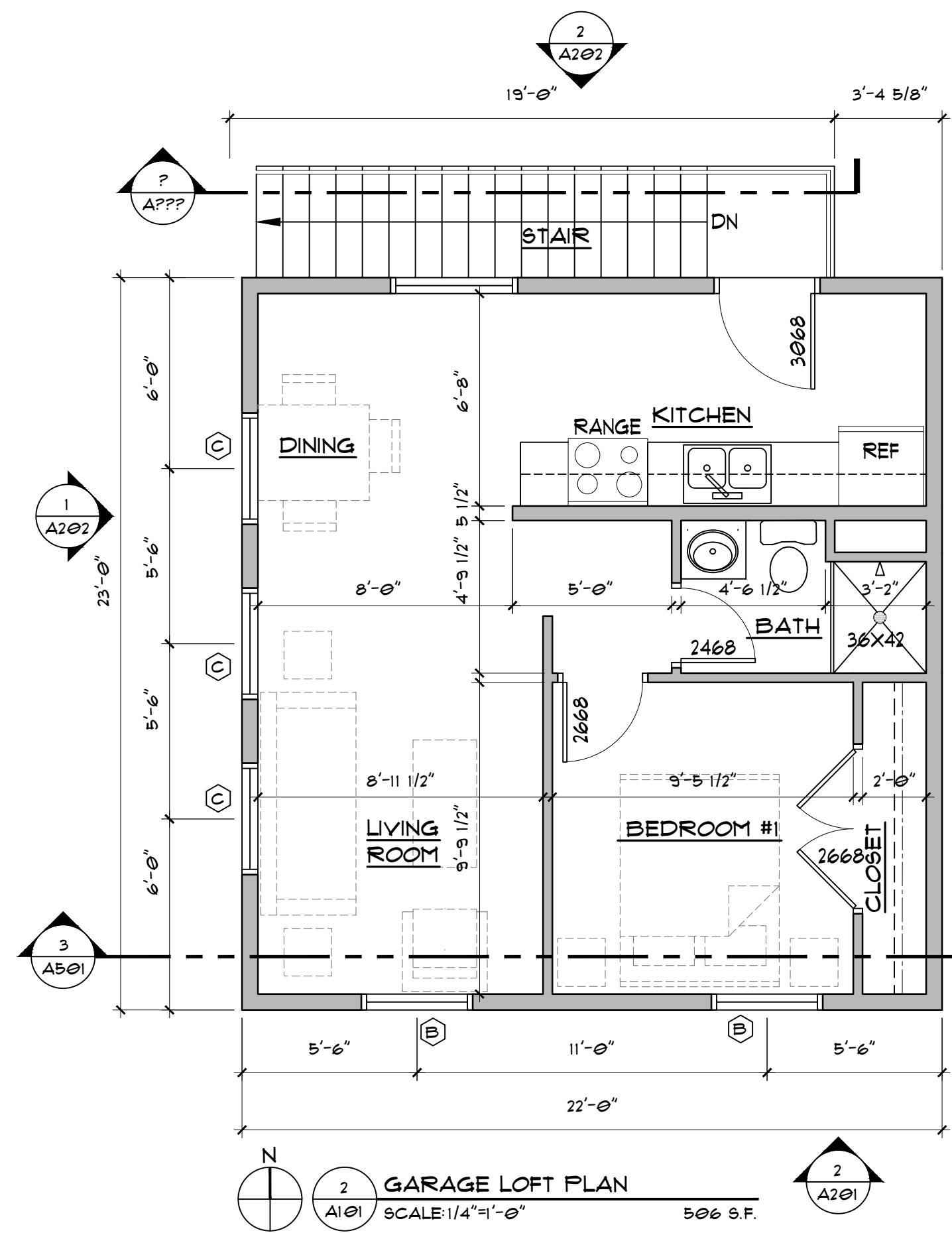
Sheet No.
A092

- GENERAL NOTES**
- CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS
 - ALL EXISTING WALLS ARE DIMENSIONED TO FACE OF EXISTING SHEATHING OR SIDING FINISH
 - CONTRACTOR TO VERIFY ANY AND ALL FLOOR DRAINS SIZES AND LOCATIONS
 - ALL NEW EXTERIOR WALLS ARE 2X6 WOOD STUDS WALL UNLESS OTHERWISE NOTED AND DIMENSIONED TO FACE OF EXTERIOR SHEATHING
 - ALL NEW INTERIOR WALLS ARE 2X4 WOOD STUD WALL UNLESS OTHERWISE NOTED ARE DIMENSIONED TO FACE OF STUD.
 - VERIFY ALL NEW HEADERS AND SUPPORTING ROOF & WIND LOADS WITH TRUSS MANUFACTURER
 - TRUSS MANUFACTURE TO TO SIZE, LOCATE, AND SUPPLY AND STRUCTURAL HEADERS WERE REQ'D
 - CENTERLINE OF THE WATER CLOSETS SHALL BE MIN. OF 16" FROM THE SIDEWALL FACE OF G.W.B.
 - CONTRACTOR TO REPAIR ALL EXISTING WORK DAMAGE BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER TO PROVIDE NEW CONSTRUCTION

WINDOW KEY		
#	OP'NG A.F.F.	NOTE
A	RECLAIMED WINDOW	-
B	REPLACEMENT WINDOW	WEATHERSHIELD PREMIUM SERIES OR HIGHER APPROVED EQL. AS NEW RICHEN WINDOW WILL BE SHORTER THAN ORIGINAL WINDOW
C	NEW WINDOW	-
D	NEW WINDOW	-

DOOR KEY		
#	OP'NG A.F.F.	NOTE
A	RECLAIMED DOOR	-
B	REPLACEMENT DOOR	-





3 WALL TYPES
SCALE: 1/12"=1'-0"

- ### GENERAL NOTES
- CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS
 - ALL EXISTING WALLS ARE DIMENSIONED TO FACE OF EXISTING SHEATHING OR SIDING FINISH
 - CONTRACTOR TO VERIFY ANY AND ALL FLOOR DRAINS SIZES AND LOCATIONS
 - ALL NEW EXTERIOR WALLS ARE 2X6 WOOD STUDS WALL UNLESS OTHERWISE NOTED AND DIMENSIONED TO FACE OF EXTERIOR SHEATHING
 - ALL NEW INTERIOR WALLS ARE 2X4 WOOD STUD WALL UNLESS OTHERWISE NOTED ARE DIMENSIONED TO FACE OF STUD.
 - VERIFY ALL NEW HEADERS AND SUPPORTING ROOF & WIND LOADS WITH TRUSS MANUFACTURER
 - TRUSS MANUFACTURE TO TO SIZE, LOCATE, AND SUPPLY AND STRUCTURAL HEADERS WERE REQ'D
 - CENTERLINE OF THE WATER CLOSETS SHALL BE MIN. OF 16" FROM THE SIDEWALL FACE OF G.W.B.
 - CONTRACTOR TO REPAIR ALL EXISTING WORK DAMAGE BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER TO PROVIDE NEW CONSTRUCTION

#	OPNG A.F.F.	NOTE
A	RECLAIMED WINDOW	-
B	REPLACEMENT WINDOW	WEATHERSHIELD PREMIUM SERIES NEW KIP-REN DRAPE WILL BE SHORTER THAN ORIGINAL WINDOW
C	NEW WINDOW	-
D	NEW WINDOW	-

#	OPNG A.F.F.	NOTE
A	RECLAIMED DOOR	-
B	REPLACEMENT DOOR	-

TIM STONE ARCHITECTS
ATTN: TIMOTHY M. STONE
MAIL: 715 ELM STREET
ANOKA, MN 55303
PHONE : 701.541-9653
EMAIL: tstonearch@gmail.com

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Timothy M. Stone
DATE: 11-20-24 REG. NO.: 53280

KALORAMA COTTAGE ADDITION AND REMODEL

262 LAKE STREET EXCELSIOR, MN 55331

OWNER:
ATTN: TROY MATHWIG
MAIL: 262 LAKE STREET
EXCELSIOR, MN 55331
PHONE : 612-275-0808
EMAIL: troy@4125llc.com

MAIN LEVEL PLAN,
GARAGE LOFT PLAN
WALL TYPES, NOTES

Project No.: 2435
Drawn By: TMS, IMS
Checked By: TMS
Date: 11-20-24

Sheet No.
A101

KALORAMA COTTAGE ADDITION
AND REMODEL
262 LAKE STREET EXCELSIOR, MN 55331

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PHONE : 612-275-0808
EMAIL: troy@4125llc.com

SECOND FLOOR PLAN,
ADU PLAN, WALL TYPES,
NOTES

Project No.: 2435
Drawn By: TMS
Checked By: TMS
Date: 11-20-24

Sheet No.
A102

GENERAL NOTES

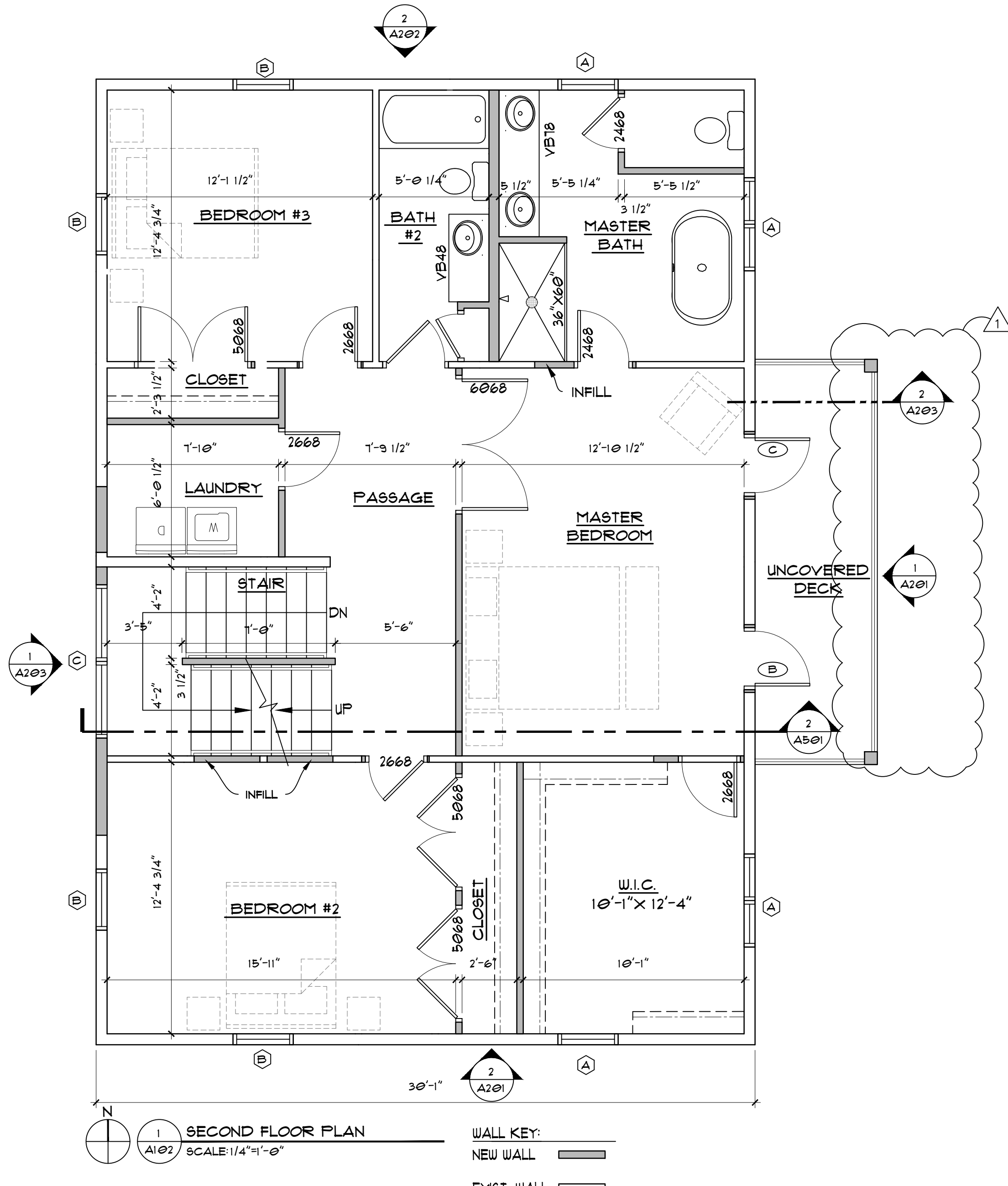
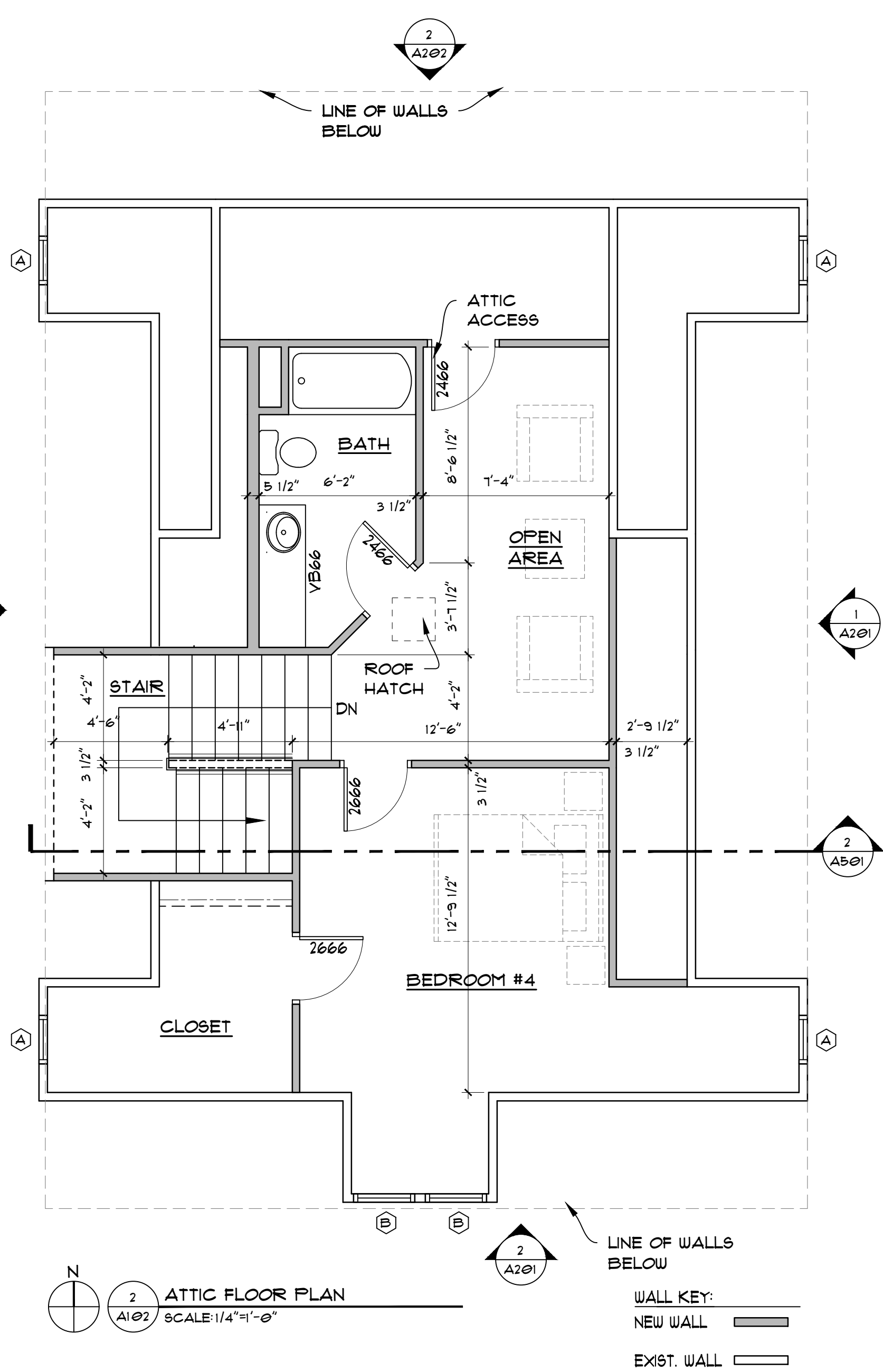
1. CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS
2. ALL EXISTING WALLS ARE DIMENSIONED TO FACE OF EXISTING SHEATHING OR SIDING FINISH
3. CONTRACTOR TO VERIFY ANY AND ALL FLOOR DRAINS SIZES AND LOCATIONS
4. ALL NEW EXTERIOR WALLS ARE 2X6 WOOD STUDS WALL UNLESS OTHERWISE NOTED AND DIMENSIONED TO FACE OF EXTERIOR SHEATHING
5. ALL NEW INTERIOR WALLS ARE 2X4 WOOD STUD WALL UNLESS OTHERWISE NOTED ARE DIMENSIONED TO FACE OF STUD.
6. VERIFY ALL NEW HEADERS AND SUPPORTING ROOF & WIND LOADS WITH TRUSS MANUFACTURER
7. TRUSS MANUFACTURE TO TO SIZE , LOCATE, AND SUPPLY AND STRUCTURAL HEADERS WERE REQ'D
8. CENTERLINE OF THE WATER CLOSETS SHALL BE MIN. OF 16" FROM THE SIDEWALL FACE OF G.W.B.
9. CONTRACTOR TO REPAIR ALL EXISTING WORK DAMAGE BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER TO PROVIDE NEW CONSTRUCTION

WINDOW KEY

#	OPNG A.F.F.	NOTE
A	RECLAIMED WINDOW	-
B	REPLACEMENT WINDOW	WEATHERSHIELD PREMIUM SERIES
C	NEW WINDOW	OR LIFE APPROVED BUILT UP NEW KRAFTMASTER BUILT UP SHORTER THAN ORIGINAL WINDOW
D	NEW WINDOW	-

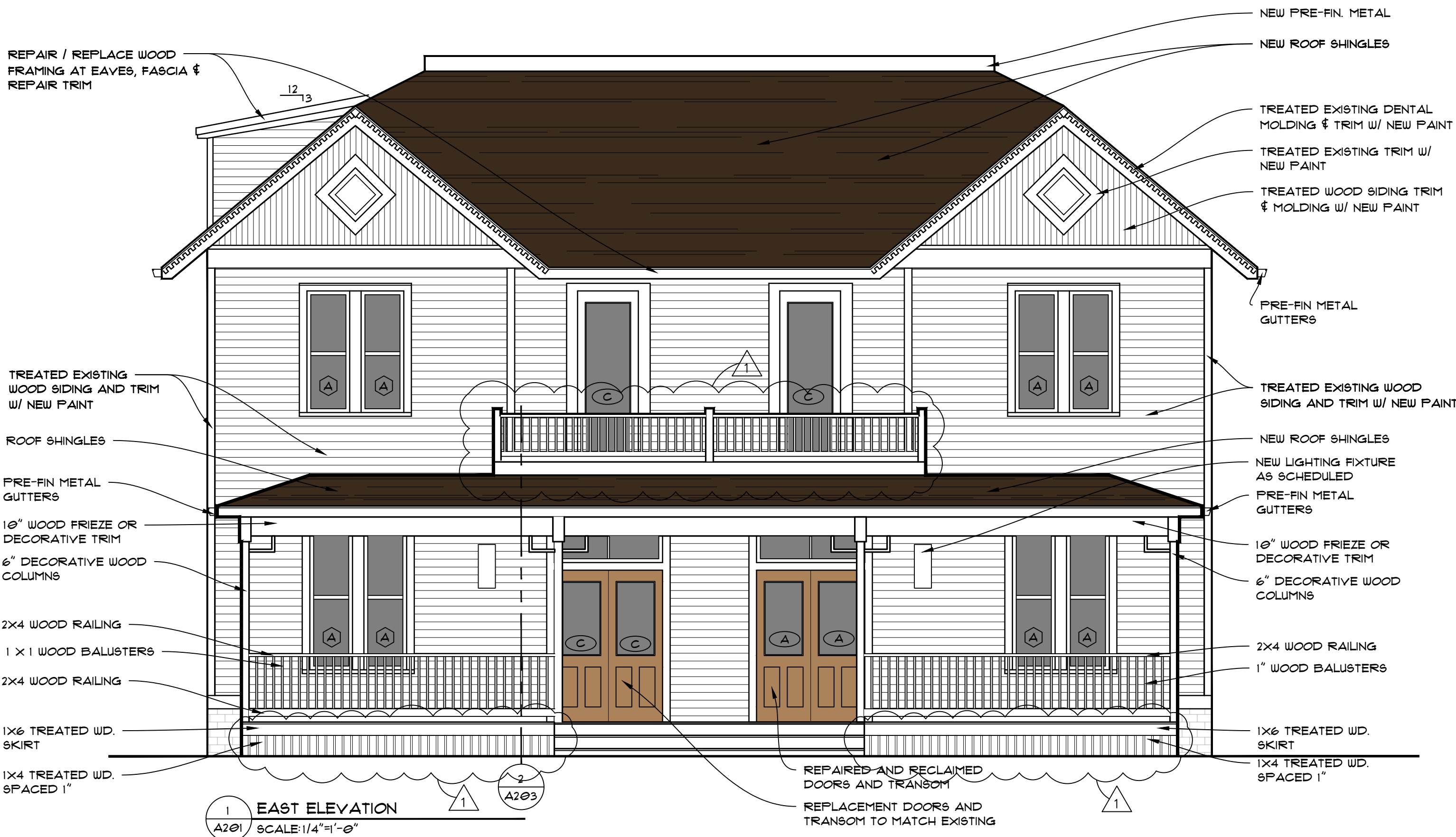
DOOR KEY

#	OPNG A.F.F.	NOTE
A	RECLAIMED DOOR	-
B	REPLACEMENT DOOR	-
C	NEW DOOR	-



LIGHTING SCHEDULE

LOCATION	PRODUCT + CODE	DETAILS: DIMENSIONS, COLOR, FINISH	SUPPLIER + LINK	#	PRICE	IMAGE
Front Facade	Cotswold Lane Medium Lantern OL5402	Width: 9.5" Height: 23.75" Finish: Black	Visual Comfort	2		
Breezeway Lighting & Apartment Entrance	Cotswold Lane Pocket Lantern OL5423	Width: 9.5" Height: 16" Finish: Black	Visual Comfort	3		
Stair Lighting	Grant Small Sconce RL2180	Width: 5.25" Height: 7.5" Finish: Bronze	Visual Comfort	2		
Garage Door Lighting	Millennium Lighting	Width: 15" Height: 17.25" Finish: Architectural Bronze	Ferguson	3		



GENERAL NOTES

- ORIGINAL WOOD SIDING AND TRIM WILL BE RETAINED AND REPAIRED MATCHING THE HISTORIC TO RESTORE INTEGRITY
- DETERIORATED, LOOSE, OR MISSING WOOD SIDING OR TRIM SHOULD BE REPAIRED MATCHING THE HISTORIC PROFILES AND DIMENSIONS FOLLOWING BEST PRACTICES FOR HISTORIC WOOD CONSTRUCTION.
- EXISTING WOOD FEATURES THAT ARE DAMAGED BEYOND REPAIR OR PREVENT THE BUILDING FROM BEING WEATHERTIGHT CAN BE REPLACES TO MATCH THE EXISTING.
- CLEANING AND PAINT REMOVAL SHALL BE DONE USING THE GENTLEST MEANS POSSIBLE. CLEANING WILL FOLLOW GUIDANCE AS PROVIDED IN THE PRESERVATION BRIEF 10: EXTERIOR PAINT PROBLEMS ON HISTORIC WOODWORK. NO ABRASIVE TECHNIQUES ARE PROPOSED.
- IT WAS OBSERVED DURING A SITE VISIT, THE AREAS OF SIGNIFICANTLY DILAPIDATED EXISTING WOOD SIDING, TRIM, FASCIA, EAVES, AND SOFFITS ARE AN APPROXIMATE ESTIMATE OF 15% OF EXTERIOR FACADES AND WILL BE REPAIRED IN PLACE WITH EPOXY FILL AND PAINT. WHERE PATCHING IS REQD, SALVAGE OR RECLAIMED WOOD SIDING WILL BE USED.

EXTERIOR FINISHES

WOOD SIDING:
PAINT- SW7042 SHOJI WHITE

WINDOW FRAMES:
PAINT- SW7042 SHOJI WHITE

PORCH ACCENTS:
PAINT- SW7042 SHOJI WHITE

DOORS (EXCEPT ENTRY AND GARAGE):
PAINT- SW7042 SHOJI WHITE

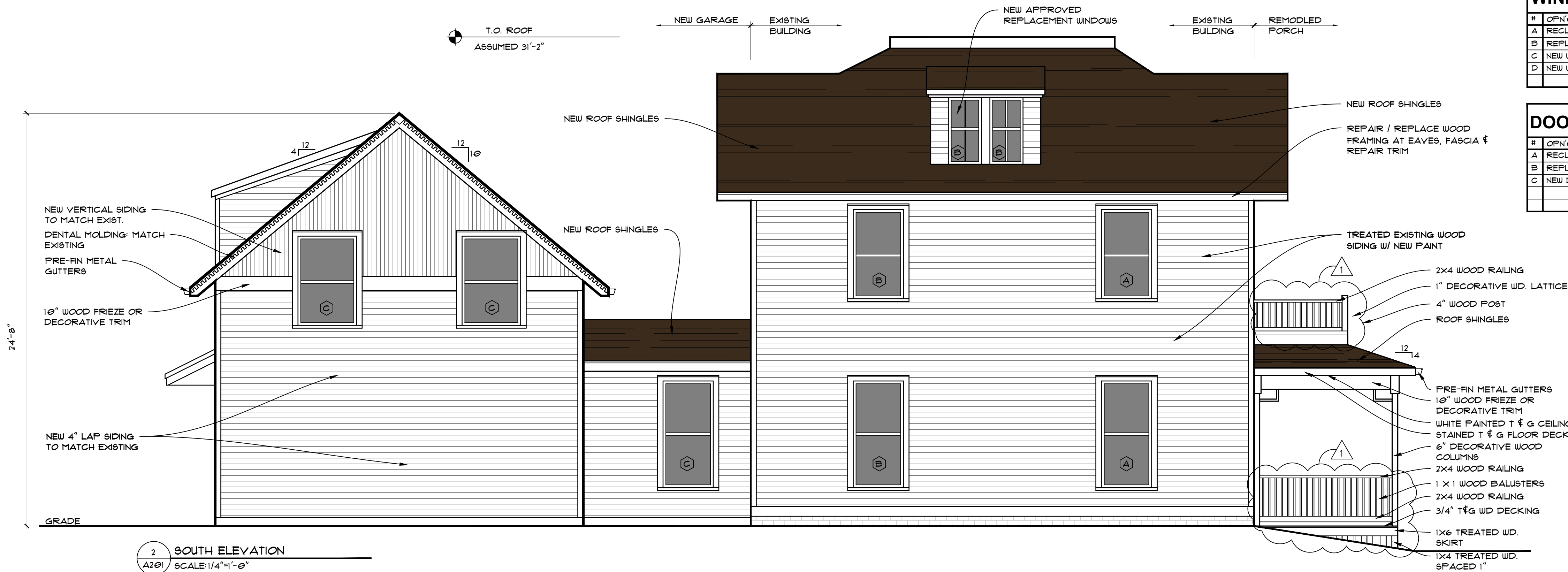
ENTRY AND GARAGE DOORS:
PAINT- DARK WOOD STAIN TO MATCH EXISTING

WINDOW KEY

#	OP'G A.F.F.	NOTE
A	RECLAIMED WINDOW	-
B	REPLACEMENT WINDOW	WEATHERSHIELD PREMIUM SERIES 68 HPC APPROVED SIMILAR NEW KITCHEN WINDOW WILL BE SHORTER THAN ORIGINAL WINDOW
C	NEW WINDOW	-
D	NEW WINDOW	-

DOOR KEY

#	OP'G A.F.F.	NOTE
A	RECLAIMED DOOR	-
B	REPLACEMENT DOOR	-
C	NEW DOOR	-



TIM STONE ARCHITECTS

ATTN: TIMOTHY M. STONE
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ANOKA, MN 55303
PHONE : 701.541-9653
EMAIL: tstonearch@gmail.com

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Timothy M. Stone
DATE: 11-20-24 REG. NO.: 53280

KALORAMA COTTAGE ADDITION AND REMODEL

262 LAKE STREET EXCELSIOR, MN 55331

OWNER:
ATTN: TROY MATHWIG
MAIL: 262 LAKE STREET
EXCELSIOR, MN 55331
PHONE : 612-275-0808
EMAIL: troy@4125llc.com

EXTERIOR ELEVATIONS,
DOOR & WINDOW
SCHEDULE

Project No.: 2435
Drawn By: TMS, IMS
Checked By: TMS
Date: 11-20-24

Sheet No.

A201

GENERAL NOTES

1. ORIGINAL WOOD SIDING AND TRIM WILL BE RETAINED AND REPAIRED MATCHING THE HISTORIC TO RESTORE INTEGRITY
2. DETERIORATED, LOOSE, OR MISSING WOOD SIDING OR TRIM SHOULD BE REPAIRED MATCHING THE HISTORIC PROFILES AND DIMENSIONS FOLLOWING BEST PRACTICES FOR HISTORIC WOOD CONSTRUCTION.
3. EXISTING WOOD FEATURES THAT ARE DAMAGED BEYOND REPAIR OR PREVENT THE BUILDING FROM BEING WEATHERTIGHT CAN BE REPLACES TO MATCH THE EXISTING.
4. CLEANING AND PAINT REMOVAL SHALL BE DONE USING THE GENTLEST MEANS POSSIBLE. CLEANING WILL FOLLOW GUIDANCE AS PROVIDED IN THE PRESERVATION BRIEF 10. EXTERIOR PAINT PROBLEMS ON HISTORIC WOODWORK: NO ABRASIVE TECHNIQUES ARE PROPOSED.
5. IT WAS OBSERVED DURING A SITE VISIT, THE AREAS OF SIGNIFICANTLY DILAPIDATED EXISTING WOOD SIDING, TRIM, FASCIA, EAVES, AND SOFFITS ARE AN APPROXIMATE ESTIMATE OF 15% OF EXTERIOR FACADES AND WILL BE REPAIRED IN PLACE WITH EPOXY FILL AND PAINT. WHERE PATCHING IS REQ'D, SALVAGE OR RECLAIMED WOOD SIDING WILL BE USED.

EXTERIOR FINISHES

WOOD SIDING:
PAINT- SW7042 SHOJI WHITE

WINDOW FRAMES:
PAINT- SW7042 SHOJI WHITE

PORCH ACCENTS:
PAINT- SW7042 SHOJI WHITE

DOORS (EXCEPT ENTRY AND GARAGE):
PAINT- SW7042 SHOJI WHITE

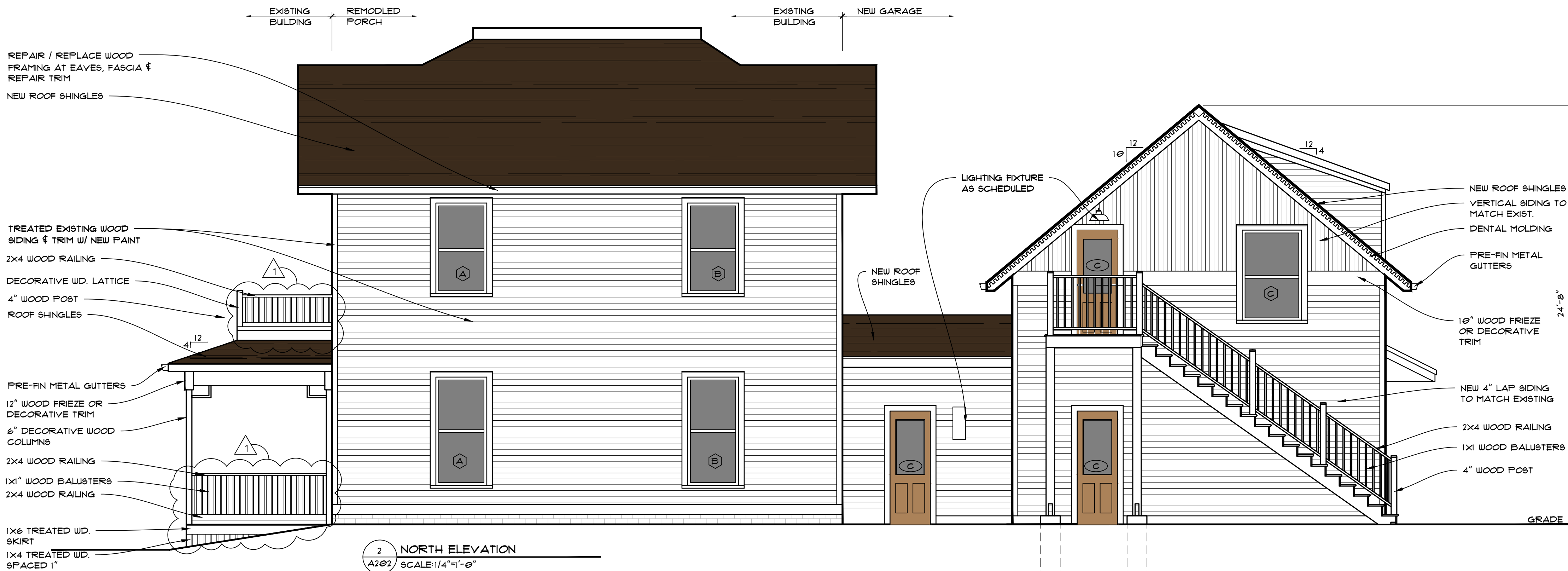
ENTRY AND GARAGE DOORS:
PAINT- DARK WOOD STAIN TO MATCH EXISTING

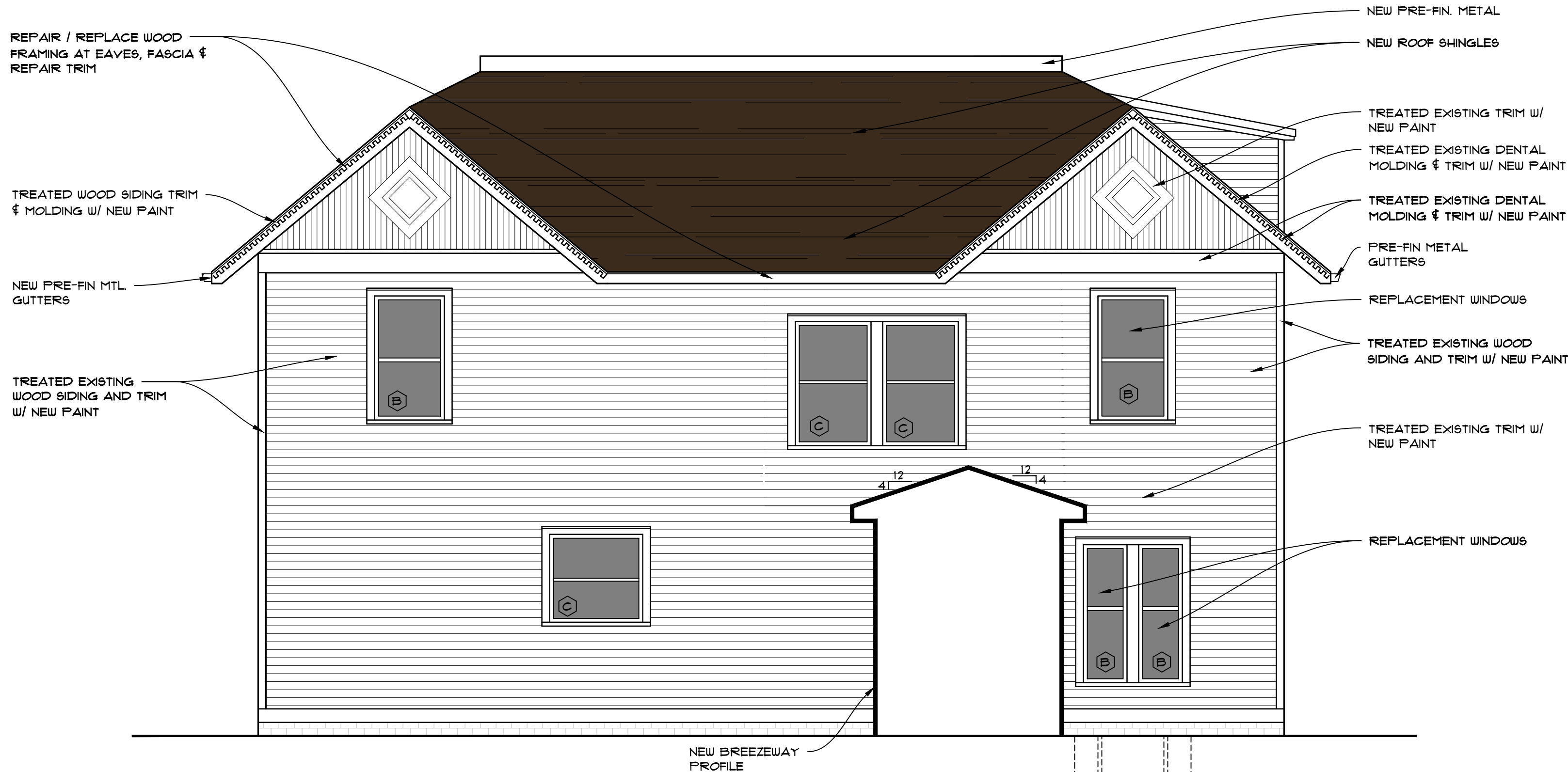
WINDOW KEY

#	OP'G A.F.F.	NOTE
A	RECLAIMED WINDOW	-
B	REPLACEMENT WINDOW	WEATHERSHIELD PREMIUM SERIES OR HIC APPROVED SIMILAR NEW KICKER WINDOW WILL BE SHORTER THAN ORIGINAL WINDOW
C	NEW WINDOW	-
D	NEW WINDOW	-

DOOR KEY

#	OP'G A.F.F.	NOTE
A	RECLAIMED DOOR	-
B	REPLACEMENT DOOR	-
C	NEW DOOR	-
		-
		-





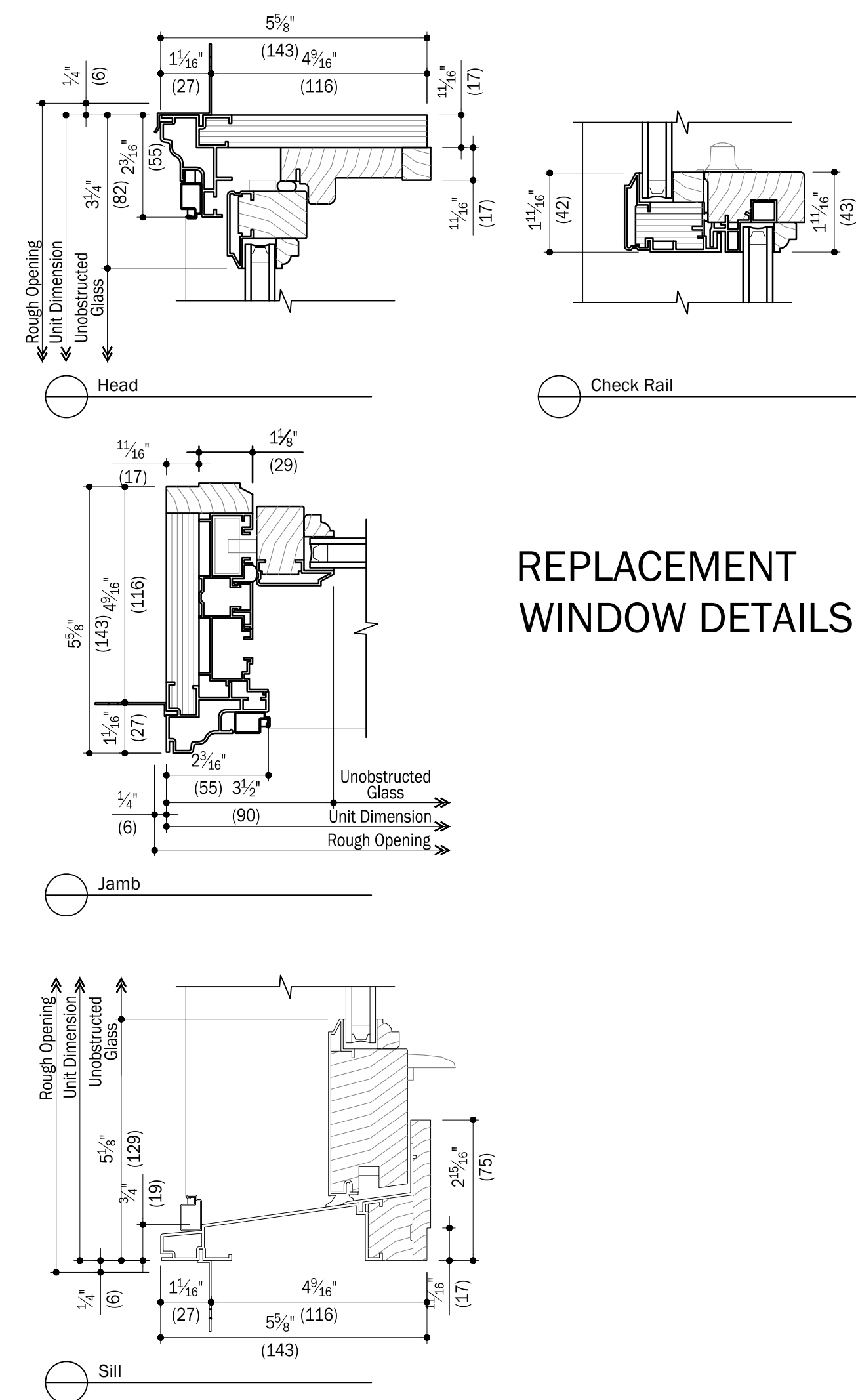
1 WEST ELEVATION (W/ GARAGE REMOVED)
A203 SCALE: 1/4"=1'-0"

- ### GENERAL NOTES
1. ORIGINAL WOOD SIDING AND TRIM WILL BE RETAINED AND REPAIRED MATCHING THE HISTORIC TO RESTORE INTEGRITY
 2. DETERIORATED, LOOSE, OR MISSING WOOD SIDING OR TRIM SHOULD BE REPAIRED MATCHING THE HISTORIC PROFILES AND DIMENSIONS FOLLOWING BEST PRACTICES FOR HISTORIC WOOD CONSTRUCTION.
 3. EXISTING WOOD FEATURES THAT ARE DAMAGED BEYOND REPAIR OR PREVENT THE BUILDING FROM BEING WEATHERTIGHT CAN BE REPLACES TO MATCH THE EXISTING.
 4. CLEANING AND PAINT REMOVAL SHALL BE DONE USING THE GENTLEST MEANS POSSIBLE. CLEANING WILL FOLLOW GUIDANCE AS PROVIDED IN THE PRESERVATION BRIEF #0. EXTERIOR PAINT PROBLEMS ON HISTORIC WOODWORK. NO ABRASIVE TECHNIQUES ARE PROPOSED.
 5. IT WAS OBSERVED DURING A SITE VISIT, THE AREAS OF SIGNIFICANTLY DILAPIDATED EXISTING WOOD SIDING, TRIM, FASCIA, EAVES, AND SOFFITS ARE AN APPROXIMATE ESTIMATE OF 15% OF EXTERIOR FACADES AND WILL BE REPAIRED IN PLACE WITH EPOXY FILL AND PAINT. WHERE PATCHING IS REQ'D, SALVAGE OR RECLAIMED WOOD SIDING WILL BE USED.

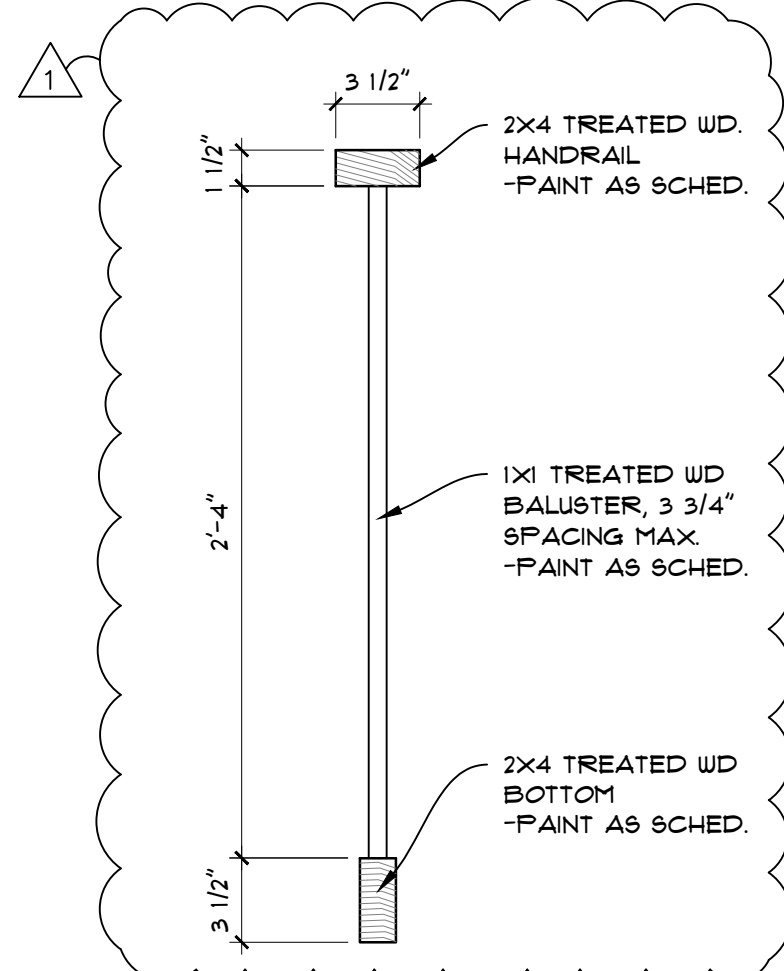
- ### EXTERIOR FINISHES
- WOOD SIDING:**
PAINT- SW7042 SHOJI WHITE
- WINDOW FRAMES:**
PAINT- SW7042 SHOJI WHITE
- PORCH ACCENTS:**
PAINT- SW7042 SHOJI WHITE
- DOORS (EXCEPT ENTRY AND GARAGE):**
PAINT- SW7042 SHOJI WHITE
- ENTRY AND GARAGE DOORS:**
PAINT- DARK WOOD STAIN TO MATCH EXISTING

WINDOW KEY		
#	OP'G A.F.F.	NOTE
A	RECLAIMED WINDOW	-
B	REPLACEMENT WINDOW	WEATHERSHIELD PREMIUM SERIES (ON HPG APPROVED SIMILAR NEW HPG WINDOW WILL BE SHORTER THAN ORIGINAL WINDOW)
C	NEW WINDOW	-
D	NEW WINDOW	-

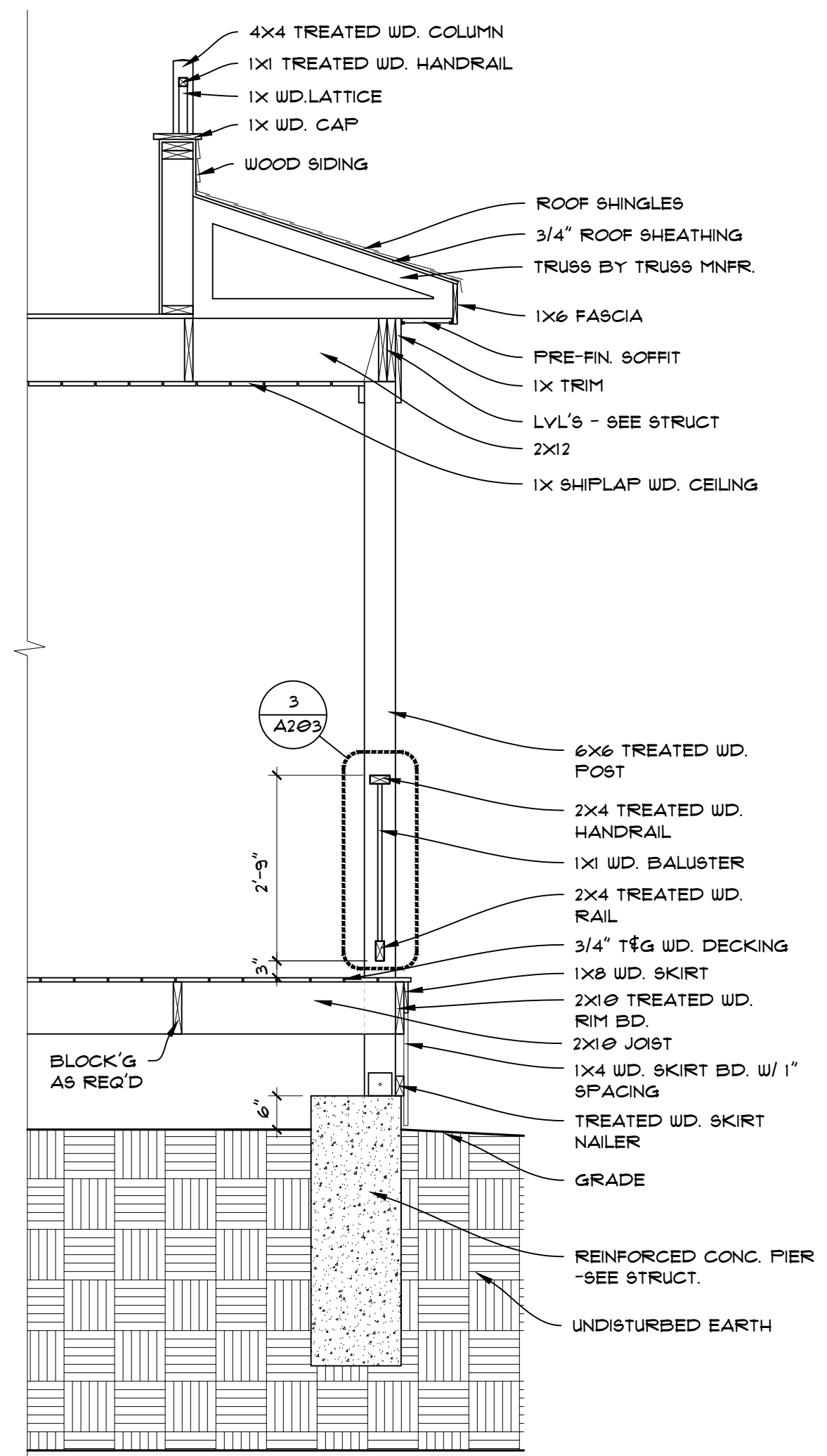
DOOR KEY		
#	OP'G A.F.F.	NOTE
A	RECLAIMED DOOR	-
B	REPLACEMENT DOOR	-
C	NEW DOOR	-



REPLACEMENT WINDOW DETAILS



3 EXTERIOR RAILING
A203 SCALE: 1-1/2"=1'-0"



2 PORCH SECTION
A203 SCALE: 1/2"=1'-0"

TIM STONE ARCHITECTS

ATTN: TIMOTHY M. STONE
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Timothy M. Stone
DATE: 11-20-24 REG. NO.: 53280

KALORAMA COTTAGE ADDITION AND REMODEL

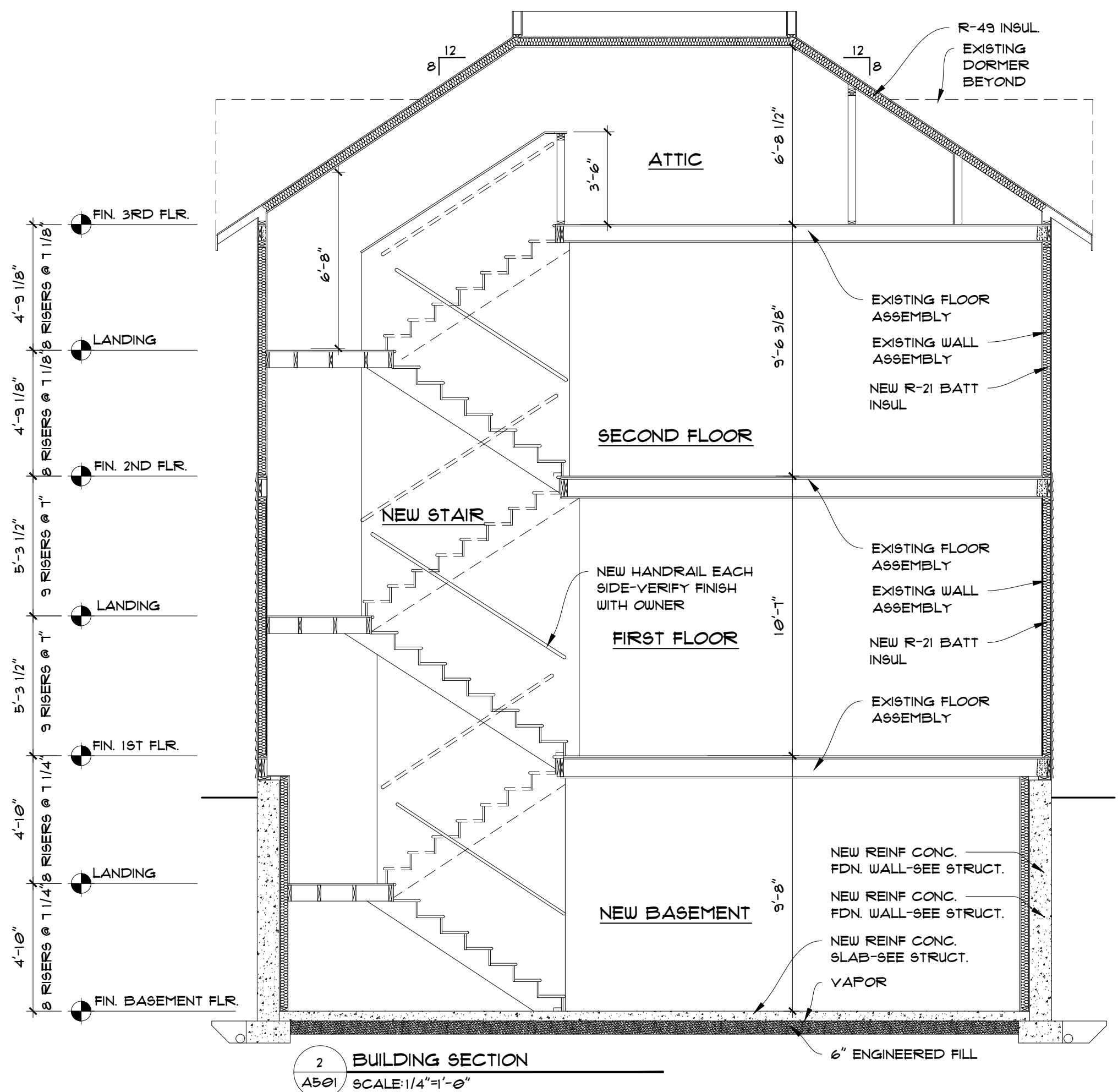
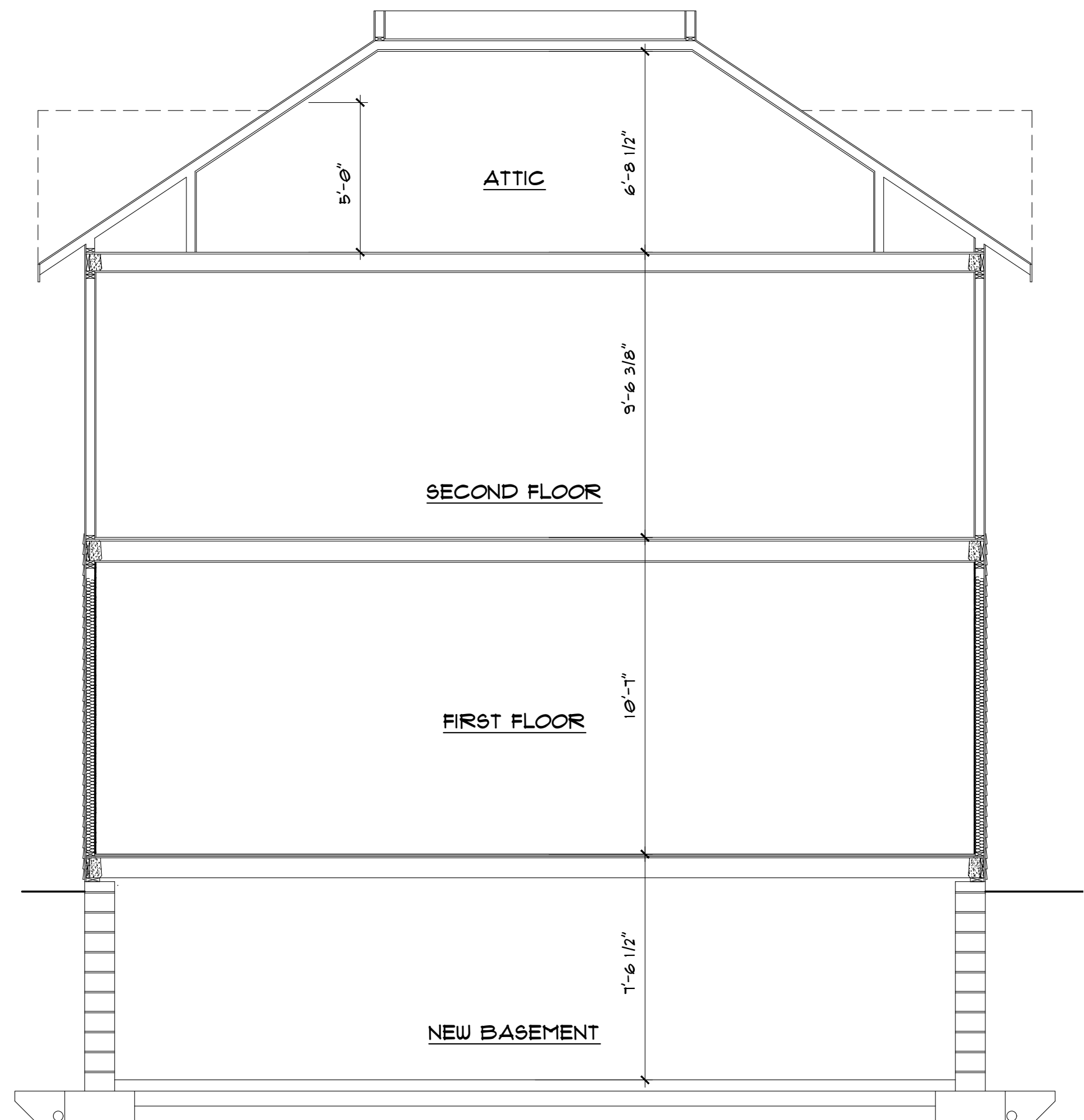
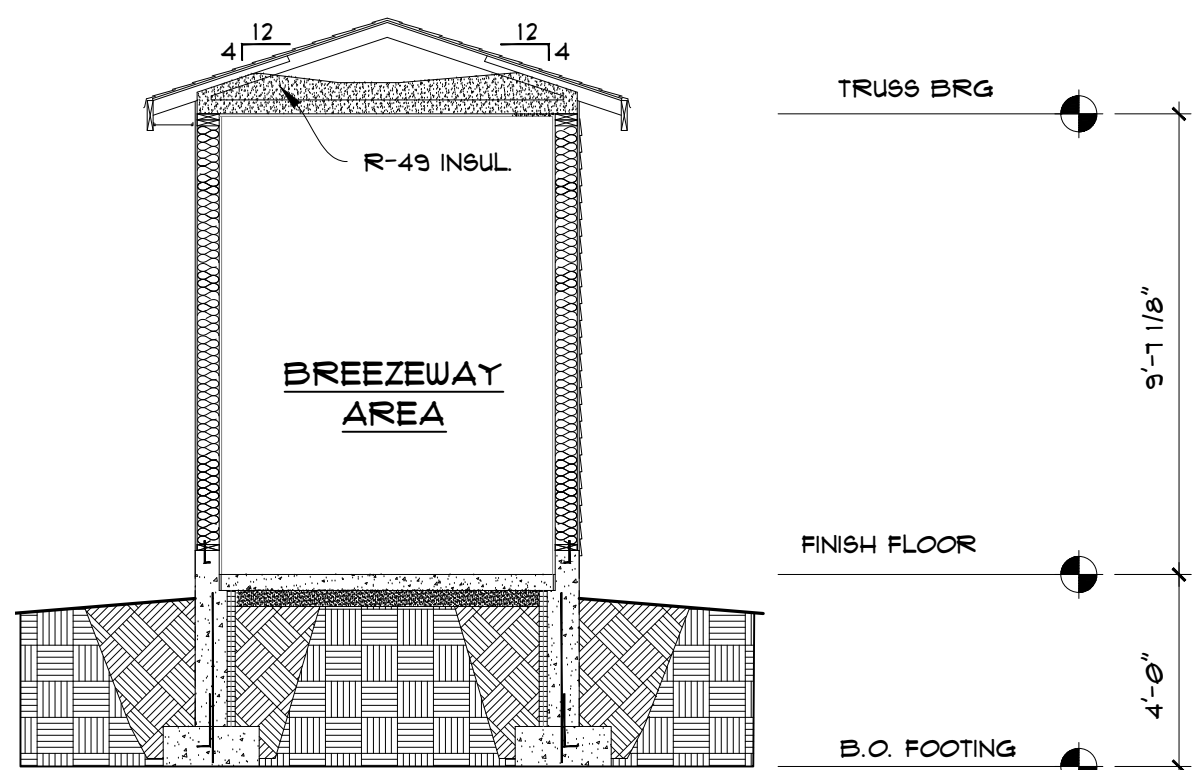
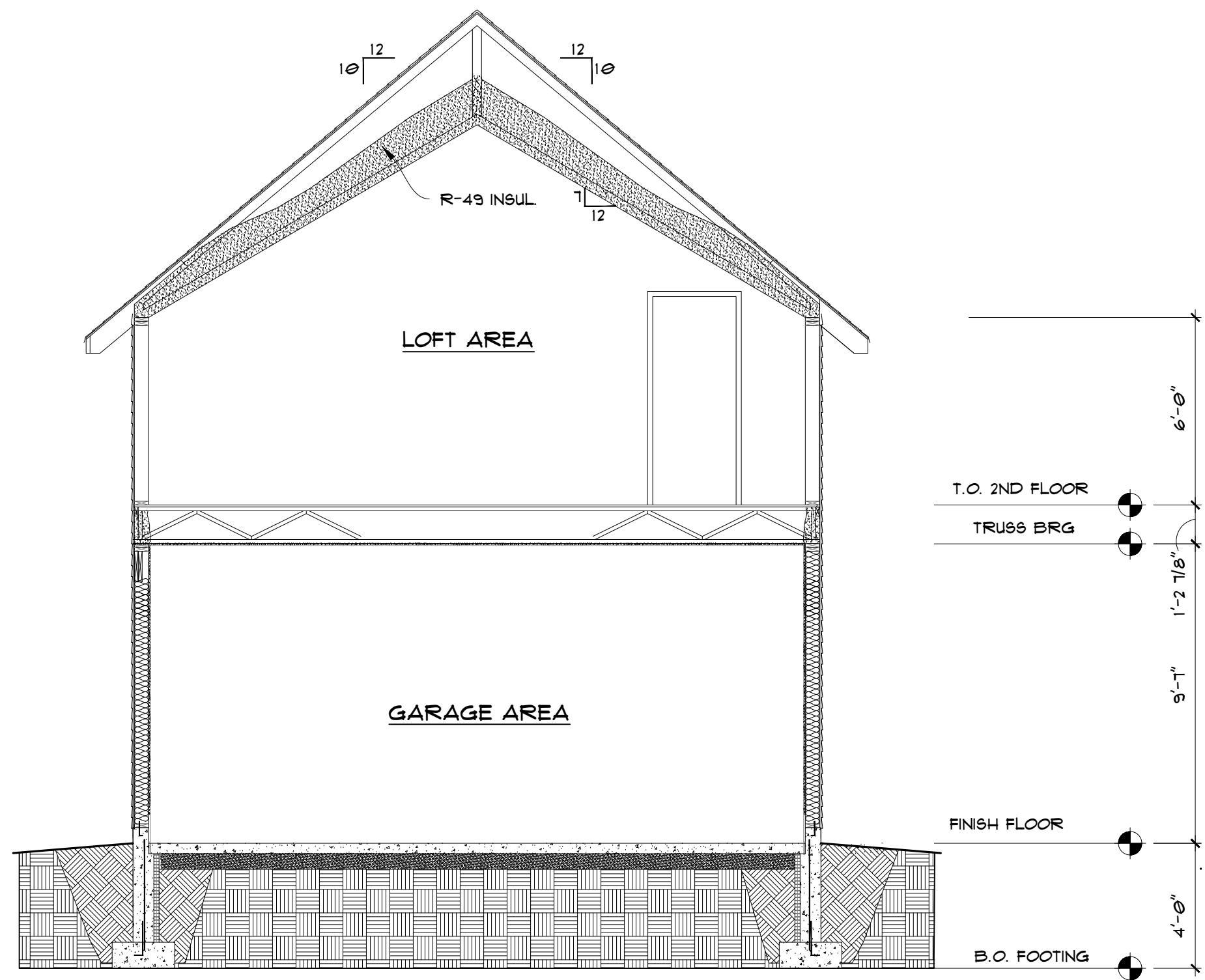
262 LAKE STREET EXCELSIOR, MN 55331

OWNER:
ATTN: TROY MATHWIG
MAIL: 262 LAKE STREET
EXCELSIOR, MN 55331
PHONE : 612-275-0808
EMAIL: troy@4125llc.com

EXTERIOR ELEVATIONS, WALL SECTION

Project No.: 2435
Drawn By:
Checked By: TMS
Date: 11-20-24

Sheet No.
A203



TIM STONE
ARCHITECTS

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PHONE : 701.541-9653
EMAIL: tstonearch@gmail.com

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Timothy M. Stone
DATE: 11-20-24 REG. NO.: 58280

**KALORAMA COTTAGE ADDITION
AND REMODEL**
262 LAKE STREET EXCELSIOR, MN 55331

OWNER:
ATTN: TROY MATHWIG
MAIL: 262 LAKE STREET
EXCELSIOR, MN
55331
PHONE : 612-275-0808
EMAIL: troy@4125llc.com

Project No.: 2435
Drawn By: TMS
Checked By: TMS
Date: 11-20-24

Sheet No.
A501

LEGAL DESCRIPTION:

Lot 2, SEAMAN'S SUBDIVISION OF LOTS 7 & 8 EXCELSIOR, Hennepin County, Minnesota.

SCOPE OF WORK & LIMITATIONS:

- Showing the length and direction of boundary lines of the legal description listed above. The scope of our services does not include determining what you own, which is a legal matter. Please check the legal description with your records or consult with competent legal counsel, if necessary, to make sure that it is correct and that any matters of record, such as easements, that you wish to be included on the survey have been shown.
- Showing the location of observed existing improvements we deem necessary for the survey.
- Setting survey markers or verifying existing survey markers to establish the corners of the property.
- This survey has been completed without the benefit of a current title commitment. There may be existing easements or other encumbrances that would be revealed by a current title commitment. Therefore, this survey does not purport to show any easements or encumbrances other than the ones shown hereon.
- Note that all building dimensions and building tie dimensions to the property lines, are taken from the siding and or stucco of the building.
- Showing and tabulating impervious surface coverage of the lot for your review and for the review of such governmental agencies that may have jurisdiction over these requirements to verify they are correctly shown before proceeding with construction.
- Showing elevations on the site at selected locations to give some indication of the topography of the site. We have also provided a benchmark for your use in determining elevations for construction on this site. The elevations shown relate only to the benchmark provided on this survey. Use that benchmark and check at least one other feature shown on the survey when determining other elevations for use on this site or before beginning construction.
- We were asked to locate the foundation and get some top of foundation elevations. The foundation is shown on the survey and is very close to the building walls. I have denoted the existing top of foundation elevations as ETF. I have also shown the existing building setbacks to the lot line with an F. behind them. Please keep in mind that we are just looking at a portion of the foundation that was visible at the time of survey. We make no representation that the foundation as shown and dimensioned here is an accurate location of that foundation. The only way to correctly show the foundation it to have it excavated. Also note that the West corner of the foundation is under a concrete slab. We are showing the foundation the best we can from the foundation lines leading up to that corner. That corner was not visible during the site visit.
- While we show a proposed location for this home or addition, we are not as familiar with your proposed plans as you, your architect, or the builder are. Review our proposed location of the improvements and proposed yard grades carefully to verify that they match your plans before construction begins. Also, we are not as familiar with local codes and minimum requirements as the local building and zoning officials in this community are. Be sure to show this survey to said officials, or any other officials that may have jurisdiction over the proposed improvements and obtain their approvals before beginning construction or planning improvements to the property.

STANDARD SYMBOLS & CONVENTIONS:

"●" Denotes iron survey marker, set, unless otherwise noted.

GRADING & EROSION CONTROL NOTES:

BEFORE DEMOLITION AND GRADING BEGIN

- Install silt fence/bio roll around the perimeter of the construction area.
- Sediment control measures must remain in place until final stabilization has been established and then shall be removed. Sediment controls may be removed to accommodate short term construction activity but must be replaced before the next rain.
- A temporary rock construction entrance shall be established at each access point to the site and a 6 inch layer of 1 to 2 inch rock extending at least 50 feet from the street into the site and shall be underlain with permeable geotextile fabric. The entrance shall be maintained during construction by top dressing or washing to prevent tracking or flow of sediments onto public streets, walks or alleys. Potential entrances that are not so protected shall be closed by fencing to prevent unprotected exit from the site.
- Contractor shall install inlet protection on all existing storm sewer inlets in accordance with the city standard details. Inlet protection shall also be provided on all proposed storm sewer inlets immediately following construction of the inlet. Inlet protection must be installed in a manner that will not impound water for extended periods of time or in a manner that presents a hazard to vehicular or pedestrian traffic.

DURING CONSTRUCTION:

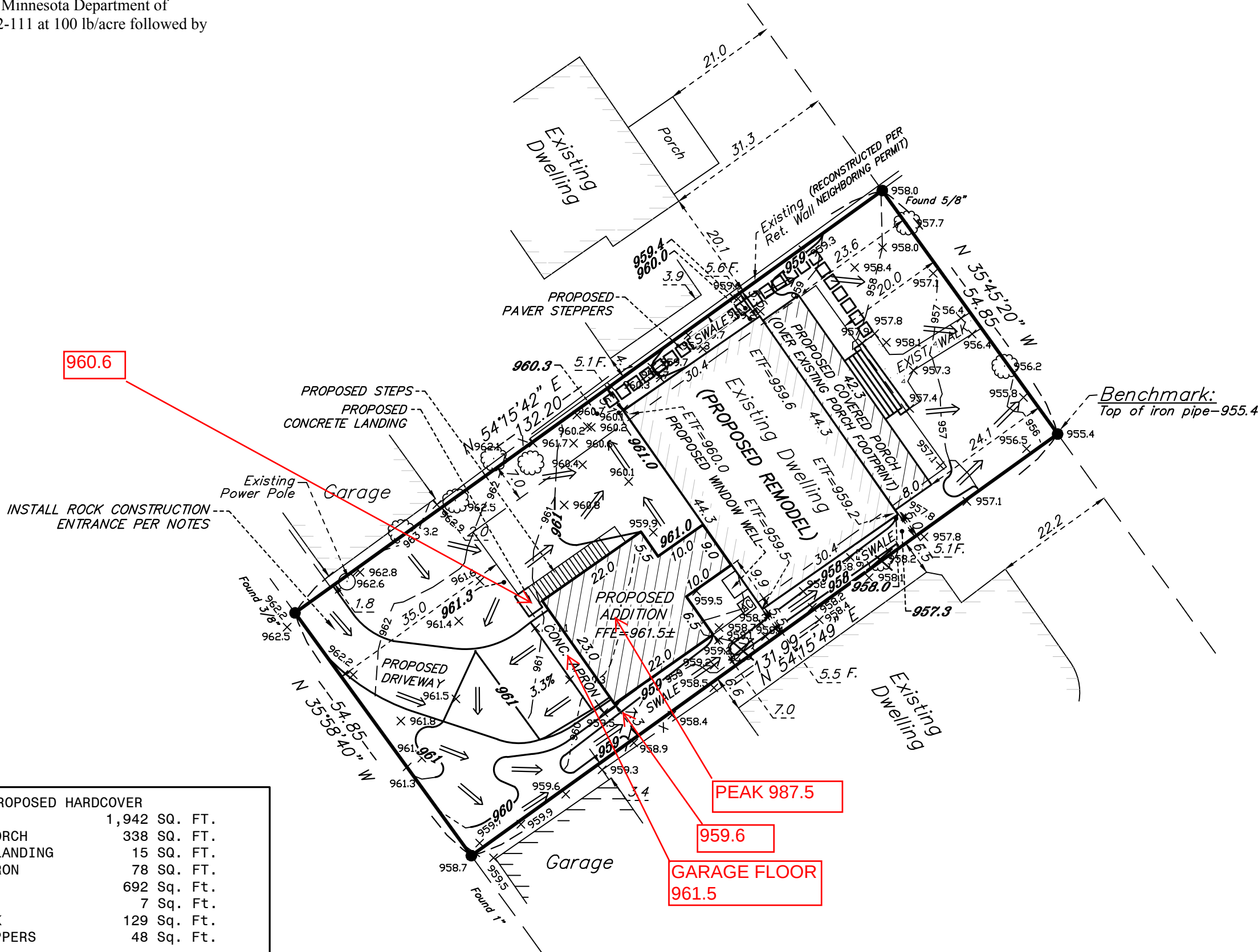
- When dirt stockpiles have been created, a double row of silt fence shall be placed to prevent escape of sediment laden runoff and if the piles or other disturbed areas are to remain in place for more than 14 days, they shall be seeded with Minnesota Department of Transportation Seed Mixture 22-111 at 100 lb/acre followed by covering with spray mulch.

- A dumpster shall be placed on the site for prompt disposal of construction debris. These dumpsters shall be serviced regularly to prevent overflowing and blowing onto adjacent properties. Disposal of solid wastes from the site shall in accordance with Minnesota Pollution Control Agency requirements.
- A separate container shall be placed for disposal of hazardous waste. Hazardous wastes shall be disposed of in accordance with MPCA requirements.
- Concrete truck washout shall be in the plastic lined ditch and dispose of washings as solid waste.
- Sediment control devices shall be regularly inspected and after major rainfall events and shall be cleaned and repaired as necessary to provide downstream protection.
- Streets and other public ways shall be inspected daily and if litter or soils has been deposited it shall promptly be removed.
- If necessary, vehicles, that have mud on their wheels, shall be cleaned before exiting the site in the rock entrance areas.
- Moisture shall be applied to disturbed areas to control dust as needed.
- Portable toilet facilities shall be placed on site for use by workers and shall be properly maintained.
- If it becomes necessary to pump the excavation during construction, pump discharge shall be into the stockpile areas so that the double silt fence around these areas can filter the water before it leaves the site.

- Temporary erosion control shall be installed no later than 14 days after the site is first disturbed and shall consist of broadcast seeding with Minnesota Department of Transportation Seed Mixture 22-111 at 100 lb/acre followed by covering with spray mulch.
- Erosion control measures shown on the erosion control plan are the absolute minimum. The contractor shall install temporary earth dikes, sediment traps or basins and additional silt fencing as deemed necessary to control erosion.

SITE WORK COMPLETION:

- When final grading has been completed but before placement of seed or sod an "as built" survey shall be done per City of Excelsior requirements to insure that grading was properly done.
- When any remedial grading has been completed, sod or seeding shall be completed including any erosion control blankets for steep areas.
- When turf is established, silt fence and inlet protection and other erosion control devices shall be disposed of and adjacent streets, alleys and walks shall be cleaned as needed to deliver a site that is erosion resistant and clean.
- Contractor shall maintain positive drainage of a minimum 2% slope away from proposed building.



LEGEND

EXISTING CONTOUR	-- -- 962 -- --
EXISTING SPOT ELEVATION	X 962.5
PROPOSED CONTOUR	— 962 —
PROPOSED SPOT ELEVATION	962.5
DRAINAGE ARROW - FLOW	⇒
TREE REMOVAL	⊗

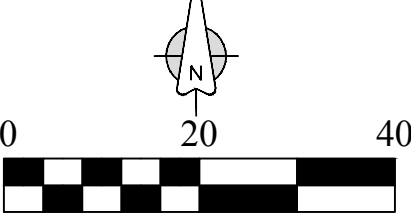
EXISTING HARDCOVER	
HOUSE	1,442 SQ. FT.
EAST PORCH	403 SQ. FT.
GRAVEL DRIVEWAY	601 SQ. FT.
GARAGE	360 SQ. FT.
CONCRETE EAST	101 SQ. FT.
CONCRETE WEST	285 SQ. FT.
WEST PORCH	58 SQ. FT.
TOTAL EXISTING HARDCOVER	3,250 Sq. Ft.
AREA OF LOT	7,245 Sq. Ft.
PERCENTAGE OF HARDCOVER TO LOT	44.8%

PROPOSED HARDCOVER	
HOUSE	1,942 SQ. FT.
COVERED PORCH	338 SQ. FT.
CONCRETE LANDING	15 SQ. FT.
GARAGE APRON	78 SQ. FT.
DRIVEWAY	692 SQ. FT.
AC PAD	7 Sq. Ft.
FRONT WALK	129 Sq. Ft.
PAVER STEPPERS	48 Sq. Ft.
TOTAL PROPOSED HARDCOVER	3,249 Sq. Ft.
AREA OF LOT	7,245 Sq. Ft.
PERCENTAGE OF HARDCOVER TO LOT	44.8%

DATE	REVISION DESCRIPTION
12-9-24	FRONT PORCH SIZE, DRIVEWAY LAYOUT, ADDITION SIZE, HC

DRAWING ORIENTATION & SCALE

SCALE - 1" = 20'



CLIENT NAME / JOB ADDRESS

TROY MATHWIG

262 LAKE STREET
EXCELSIOR, MN

Advance
Surveying & Engineering, Co.

17917 Highway 7
Minnetonka, Minnesota 55345
Phone (952) 474-7964
Web: www.advsur.com

I HEREBY CERTIFY THAT THIS PLAN, SURVEY OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

Thomas M. Bloom
42379
LICENSE NO.
NOVEMBER 26, 2024
DATE

DATE SURVEYED: JULY 21, 2022

DATE DRAFTED: NOVEMBER 26, 2024

SHEET TITLE

PROPOSED SURVEY

DRAWING NUMBER

241724 JR

SHEET SIZE 17 X 22

SHEET NO.

S1



Item: 4.B.

ITEM REPORT

To: Planning Commission

From: Julia Mullin, Community Development Director

Meeting Date: August 25, 2025

Department/Office: Community Development

Item Name: PC Resolution 2025-03 Approving Residential Review Permit for an addition at 243 Third Street

Summary:

On June 23, 2025, you approved a Residential Review Permit for the construction of an addition at 243 Third Street and directed staff to prepare a resolution documenting this action. PC Resolution 2025-03 is attached for your approval.

Recommended Action:

It is recommended that the Commission approve PC Resolution 2025-03.

Budget:

Attachments:

1. PC Res 2025-03 Approving RRP_243 Third St

**CITY OF EXCELSIOR
PLANNING COMMISSION
RESOLUTION NO. 2025-03**

**A RESOLUTION APPROVING A RESIDENTIAL REVIEW PERMIT FOR CONSTRUCTION OF AN
ADDITION ON AN EXISTING HOME AT 243 THIRD STREET**

WHEREAS, Chris Norton, Trehus Builders, 4725 Olsen Memorial Hwy, Golden Valley, MN 55442, applied for a Residential Review Permit and Variance from the building coverage standard for construction of an addition on an existing home, pursuant to Articles 6 and 42 of the Excelsior Zoning Code ("Code"), for the property located at 243 Third Street, Excelsior, P.I.D. # 34.117.23.12.0064 ("Property"); and

WHEREAS, a public hearing for the Variance Application was duly noticed pursuant to Sections 6-6 of the Zoning Code; and

WHEREAS, the Planning Commission considered the Variance application at their regularly scheduled meeting on June 23, 2025; and

WHEREAS, neighborhood notification and opportunity to be heard for the Residential Review Permit application was duly noticed pursuant to Section 42-7 of the Zoning Code; and

WHEREAS, the Planning Commission approved the Residential Review Permit application with a vote of 6-0 (Commissioner Neale recused himself). The Commission voted 3-3 on a motion to deny the variance application. Commissioners Johnson, Muenzberg, and Tyler voted to recommend denial of the variance application and Commissioners Day, Hansen, and Malsam voted to recommend approval of the variance. (Commissioner Neale recused himself.) No recommendation was made.

NOW, THEREFORE, BE IT RESOLVED, that the Residential Review Permit application submitted by the Applicant is hereby approved based on the following:

FINDINGS OF FACT

1. The subject parcel is 6,439 sf and located in the R2 zoning district. There is an existing home with a two-story detached garage on the parcel.
2. The existing home was built in 1910.

3. The proposed addition is a sunroom, one-story with windows on all three sides, and is 189 sf.
4. The existing home and garage exceed the maximum building coverage permitted by ordinance (*Sec. 41-5, zoning ordinance*) by 1% or 83 sf. The proposed plans increase the building coverage to 29% of the parcel (1,879 sf), requiring a variance for 272 sf (4% of parcel).
5. The parcel is conforming with regard to side and rear setbacks.
6. The parcel to the east of the subject parcel is unusual because the house is set at the rear of the parcel and faces Center Street, leaving open space that is wooded and has no structure adjacent to 243 Third Street.
7. The area around this property is made up of a mix of one, one and a half, and two-story homes.

CONCLUSIONS OF LAW

The application satisfies the criteria for a Residential Review Permit pursuant to Section 42 of the Zoning Code as follows:

1. Massing and scale of new structure should be compatible with neighboring structures. *The original home will be preserved, and the scale of the addition is in keeping with the scale of the home. The addition is one-level and has windows on all sides and does not detract from the character-defining elements of the home, including the front porch and one and a half story massing.*
2. The size and mass of a new structure should be compatible with the size of the property. *The porch will add 189 sf at the rear of the home. The porch is centered at the rear of the home which reduces its impact on the parcels at either side. This is a small property and with the addition, the parcel feels "full"; however, the addition is one story and at the rear.*
3. A new structure should follow alignments that are predominant on the street and compatible with neighboring properties. *The front yard setback will not change, and the proposed addition is at the rear of the home.*
4. A new structure's design should respect the site's natural slope and features, minimizing cut, fill and retaining walls. *The proposed addition respects the sites natural features and does not propose substantial grade changes.*

5. Consider front porch element in design of new structures. *The addition is at the rear of the home. No changes are proposed for the existing front porch.*
6. A new structure should be detailed as four-sided architecture. *The porch has architectural detail including sash windows and siding that are compatible with that of the house.*
7. Consider neighbor views, privacy and sunlight in placement and size of a new structure's elements. *The views, privacy and sunlight of the neighbors will be somewhat impacted. The rear yard of the subject parcel shares property lines with three adjacent parcels. On the parcel to the right of the subject parcel, the home is located at the rear of the parcel leaving open space with trees immediately adjacent to the subject home.*

CONDITIONS

1. The applicant shall obtain all necessary City, watershed district, and other government entity permits and approvals including but not limited to building permits, grading and erosion control plans, etc.
2. The plans shall be consistent with the plans included in the Planning Commission packet dated June 23, 2025.
3. The Residential Review Permit application shall expire one year from the date of adoption of the resolution if not acted upon.

Adopted by the Planning Commission of the City of Excelsior, Minnesota, this 25th day of August 2025.

Approved:

Bill Muenzberg, Chair



Item: 4.C.

ITEM REPORT

To: Planning Commission

From: Julia Mullin, Community Development Director

Meeting Date: August 25, 2025

Department/Office: Community Development

Item Name: PC Resolution 2025-05 Approving Residential Review Permit for an addition at 210 George Street

Summary:

On July 28, 2025, you approved a Residential Review Permit for the construction of an addition at 210 George Street and directed staff to prepare a resolution documenting this action. PC Resolution 2025-05 is attached for your approval.

Recommended Action:

It is recommended that the Commission approve PC Resolution 2025-05.

Budget:

Attachments:

1. PC Res 2025-05_Approving RRP_210 George

CITY OF EXCELSIOR
PLANNING COMMISSION
RESOLUTION NO. 2025-05

**A RESOLUTION APPROVING A RESIDENTIAL REVIEW PERMIT FOR CONSTRUCTION OF AN
ADDITION ON AN EXISTING HOME AT 210 GEORGE STREET**

WHEREAS, John Carey, Lake Country Builders, 331 North Second Street, Excelsior, MN 55331, applied for a Residential Review Permit and Variance from the side yard setback and building coverage standards for construction of an addition on an existing home, pursuant to Articles 6 and 42 of the Excelsior Zoning Code ("Code"), for the property located at 210 George Street, Excelsior, P.I.D. # 34.117.23.12.0091 ("Property"); and

WHEREAS, a public hearing for the Variance Application was duly noticed pursuant to Sections 6-6 of the Zoning Code; and

WHEREAS, the Planning Commission considered the Variance application at their regularly scheduled meetings on June 23 and July 28, 2025; and

WHEREAS, neighborhood notification and opportunity to be heard for the Residential Review Permit application was duly noticed pursuant to Section 42-7 of the Zoning Code; and

WHEREAS, the Planning Commission approved the Residential Review Permit application and recommended approval of the Variance application, with a vote of 6-0, at their meeting on July 28, 2025; and

WHEREAS, the City Council approved the variance application with a vote of 5-0 at their meeting on August 4, 2025.

NOW, THEREFORE, BE IT RESOLVED, that the Residential Review Permit application submitted by the Applicant is hereby approved based on the following:

FINDINGS OF FACT

1. The subject parcel is 6,774 sf and located in the R2 zoning district.
2. There is an existing home, built in 1910, and a detached garage on the parcel. The applicant proposes to renovate and add onto the original home which will preserve and update an

original home in Excelsior. The applicant is not pursuing demolition of the original home and construction of a new home.

3. The existing home has 1.5 story massing.
4. The existing home is located approximately 4' from the side property line and is nonconforming. The proposed addition will be located 5'10" from the side property line which continues to be nonconforming but closer to the required 7' side setback than the existing home. The proposed plans do not enlarge the nonconformity.
5. The applicant proposes to add an attached two-car garage with living space above on the second level. The addition will add 673 sf of new building coverage to the lot. The applicant will remove the existing 400 sf detached one-car garage.
6. The proposed plans will also remove the existing driveway and add a new ribbon driveway and parking pad and add a roof over the landing at the front entrance.
7. The original parcel survey submitted by the applicant showed a vacated alley at the rear of the property. It has been determined that half of that vacated alley is legally part of the subject property. A revised survey was submitted.
8. The building coverage maximum permitted for this parcel is 25% of the lot area or 1,694 sf. The proposed building coverage is 26.5% of the parcel or 1,793 sf. The applicant requested a variance for 99 sf or 1.5% over the maximum allowed.
9. The proposed lot coverage for the parcel is 40.8% or 2,762 sf which is below the 42% permitted by ordinance and an improvement from the existing lot coverage which is 46% of the parcel or 2,966 sf. Although not required by ordinance, the applicant proposes to add a rain garden to the parcel to improve the drainage and prevent water from draining onto the neighbor's parcel as is the condition today.
10. The area around this property is made up of a mix of one, one and a half, and two-story homes. The property at 210 George Street and adjacent parcels are relatively narrow lots that reflect the historic nature of the neighborhood. There are new larger homes (2 story) as well as original homes (1.5 – 2 story) on the block.
11. The applicant worked with city staff and the consulting city architect to revise their plans to bring them into greater conformance with the Good Neighbor Guidelines (*Sec. 42-3* of zoning

ordinance) and made additional revisions in response to comments from the Planning Commission. The roof peak of the addition was reduced from 3'10" above the roof peak of the existing home to 1'8" above.

CONCLUSIONS OF LAW

1. Massing and scale of new structure should be compatible with neighboring structures.

The façade of the original home will be preserved. The addition does not significantly impact the street view of the home. The addition is positioned behind the home and will be somewhat noticeable from public view because the peak of the addition's roof (1'8" above existing roofline) will be visible from the street. The applicant reduced the height of the addition in response to Commission feedback. This will change the original roof line but does not necessarily detract from the character-defining elements of the home. The new addition also has dormers that work to blend the new addition to the existing home's style and character. During the pre-application period, the applicant worked with staff and reduced the height of the addition, reduced the size of the garage, and added dormers, thereby reducing the size of the side setback, rear setback, and building coverage variances required. Garage height was again reduced after the June 23rd Planning Commission initial review.

2. The size and mass of a new structure should be compatible with the size of the property.

The addition will add 673 sf of building coverage to the rear of the home (the existing detached garage will be removed). The addition is centered at the rear of the home which extends the home's footprint but keeps the addition pulled in from the parcels on either side providing more open space. The addition improves the side yard setback on the right side. The two car garage will benefit the homeowners and fulfill modern needs and is sized as small as possible. The second story of the addition causes the overall addition to feel large. However, the building coverage remains below what is allowed for a 1.5 story home, and the dormers, varying roof heights, slope of the parcel, location of the addition at the rear of the home, and removal of the existing detached garage mitigate the massing.

3. A new structure should follow alignments that are predominant on the street and compatible with neighboring properties.

The front yard setback will not change, and the proposed addition is at the rear of the home.

4. A new structure's design should respect the site's natural slope and features, minimizing cut, fill and retaining walls.

The proposed addition respects the sites natural features and does not propose substantial grade changes. Existing retaining wall on the right side of the property will remain.

5. Consider front porch element in design of new structures.

The addition is at the rear of the home. There is an improved front entryway proposed as part of the project.

6. A new structure should be detailed as four-sided architecture.

The addition and garage have 4-sided architectural details that are compatible with those on the existing house.

7. Consider neighbor views, privacy and sunlight in placement and size of a new structure's elements.

The views, privacy and sunlight of the neighbors will be somewhat impacted. The rear yard of the subject parcel shares property lines with three adjacent parcels. However, removing the existing detached garage opens up space between the subject home and the home to the left. The home on the right is located 35' from the proposed addition. The applicant will improve the present condition of stormwater management on the parcel by adding a rain garden at the rear of the property and reducing the flow of water onto the neighbor's (to the left) property.

CONDITIONS

1. The applicant shall obtain all necessary City, watershed district, and other government entity permits and approvals including but not limited to building permits, grading and erosion control plans, etc.
2. The city engineer shall review and approve the grading plan and sizing of the proposed rain garden to ensure conditions on the parcel and on surrounding parcels are not negatively impacted by this project.
3. The plans shall be consistent with the plans included in the Planning Commission packet dated July 28, 2025.
4. The RRP and Variance application shall expire one year from the date of adoption of the resolution if not acted upon.

Adopted by the Planning Commission of the City of Excelsior, Minnesota, this 25th day of August 2025.

Approved:

Bill Muenzberg, Chair



Item: 4.D.

ITEM REPORT

To: Planning Commission

From:

Meeting Date: August 25, 2025

Department/Office: Community Development

Item Name: Public Hearing, revisions to *Chapter 24 Signs*, of zoning ordinance -
Continued to September 22nd Planning Commission Meeting

Summary:

Recommended Action:

Budget:

Attachments:

None